

# UO HOUSING CENTRAL KITCHEN & WOODSHOP

SCHEMATIC DESIGN SUBMISSION - Not For Construction

UNIVERSITY OF OREGON  
1800 Block of Columbia Street, Eugene, OR  
Project #CP13-111

# SCHEMATIC DESIGN SUBMISSION

## PROJECT TEAM

### OWNER

UNIVERSITY OF OREGON  
1276 UNIVERSITY OF OREGON  
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HOUSING CAPITAL CONSTRUCTION MANAGER

CAMPUS PLANNING, DESIGN, AND CONSTRUCTION  
1276 UNIVERSITY OF OREGON  
EUGENE, OR 97403  
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DENISE STEWART, CONSTRUCTION PROJECT MANAGER

### DESIGN/BUILD LEADER

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3028 JUDKINS ROAD #1  
EUGENE, OREGON 97403  
(541) 687-9445  
(541) 687-9451 (FAX)  
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### ARCHITECT

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CONTACT: SCOTT STOLARCZYK, AIA, CDT, OGP, LEED AP BD+BC

### LANDSCAPE ARCHITECT

CAMERON MCCARTHY LANDSCAPE ARCHITECTURE & PLANNING  
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CONTACT: MATT SCHEIBE, ASLA

### CIVIL ENGINEER

KPFF CONSULTING ENGINEERS  
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EUGENE, OREGON 97401  
(541) 684-4902  
(541) 684-4909 (FAX)  
CONTACT: MATT KEENAN, PE

### STRUCTURAL ENGINEER

HOHBACH-LEWIN STRUCTURAL ENGINEERS  
296 EAST 5TH AVENUE, SUITE 302  
EUGENE, OR 97401  
(541) 349-1701  
(541) 349-1702 (FAX)  
CONTACT: VIKKI BOUCHIER, SE

### FOOD SERVICE DESIGNER

JLR DESIGN GROUP  
557 ROY STREET, SUITE 175-A  
SEATTLE, WA 98109  
(206) 625-0070  
(206) 625-0073 (FAX)  
CONTACT: DEON RICHARDS

### HVAC-PLUMBING D/B SUB

ALLIANT SYSTEMS  
1600 NW 167TH PLACE  
BEAVERTON, OR 97006  
(503) 619-4000  
(503) 230-9238 (FAX)  
CONTACT: NICK SCOTT, PROJECT MANAGER  
SEAN MURRAY, HVAC ENGINEER  
ANDREW FLANAGAN, PLUMBING ENGINEER

### ELECTRICAL D/B SUB

ELECTRICAL CONSTRUCTION COMPANY  
32758 OLD HIGHWAY 34 SE  
ALBANY, OR 97322  
(541) 812-6248  
(541) 926-4268 (FAX)  
CONTACT: GLENN ANDERSON, PROJECT MANAGER  
ALLAN GIBBS, ELECTRICAL ENGINEER

## SHEET INDEX

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## CODE ANALYSIS

**LOCATION:** EAST SIDE OF THE 1700/1800 BLOCK OF COLUMBIA STREET

**TAX MAPS:** 17-03-32-44, LOT 2400  
18-03-05-11, LOTS 1700, 1800, 1900, 2000

**LAND USE APPLICATIONS:** SITE PLAN REVIEW REQUIRED

**SITE AREA:** TOTAL SITE AREA: 56,044 SF (1.28 ACRES)  
EXISTING CONDITIONS COVERAGE:  
BUILDING AREA: 13,608 SF  
OTHER IMPERVIOUS AREA: 2,714 SF  
NEW CONDITIONS COVERAGE:  
BUILDING AREA: 21,592 SF (38.53%)  
VEHICLE IMPERVIOUS AREA: 16,224 SF (28.95%)  
PEDESTRIAN IMPERVIOUS AREA: 5,632 SF (10.04%)  
LANDSCAPE AREA: 12,596 SF (22.48%)  
NEW IMPERVIOUS AREA IN MOSS ALLEY RIGHT-OF-WAY: 9,805 SF

**EAST CAMPUS DEVELOPMENT POLICY (E.C.D.P.) CRITERIA**

**CAMPUS PLAN DESIGNATION:** DESIGN AREA: H  
DESIGN SUBAREA: 36

**E.C.D.P. DESIGN AREA:** LIMITED HIGH-DENSITY RESIDENTIAL/LIMITED INSTITUTIONAL

**E.C.D.P. SUB-AREA:** 54

**OPEN SPACE REQUIREMENT:** 10% OF PROPOSED BUILDING AREA  
OPEN SPACE REQUIREMENTS TO BE MET WITH IMPROVEMENTS IN COLUMBIA STREET R.O.W.

**MAXIMUM COVERAGE:** 0.300 FOR DESIGN SUBAREA

**MAXIMUM F.A.R.:** 0.500 FOR DESIGN SUBAREA

**LAND USE CODE ANALYSIS, BASED UPON CITY OF EUGENE MUNICIPAL CODE, CHAPTER 9 (EC)**

**ZONE DESIGNATION:** PL (PUBLIC LAND)

**ZONE OVERLAYS:** /EC (EAST CAMPUS)  
/SR (SITE REVIEW)

**METRO PLAN DESIGNATION:** GOVERNMENT/EDUCATION

**MINIMUM LOT SIZE:** 6,000 SF

**MINIMUM FRONTAGE:** 50 FEET

**MINIMUM BUILDING SETBACK:** 10 FEET

**MAXIMUM BUILDING HEIGHT:** 45 FEET (PER E.C.D.P.)  
30 FEET IF WITHIN 50 FEET OF RESIDENTIAL ZONE

**MINIMUM LANDSCAPE AREA:** NONE REQUIRED IN PL, EXCEPT FOR PARKING AREA REQUIREMENTS

**VEHICLE PARKING REQUIREMENT:** AS PART OF APPROVED CAMPUS PLAN, PARKING IS LOOKED AT ON A CAMPUS-WIDE SCALE; ON-SITE PARKING REQUIREMENT IS BASED UPON PROGRAM REQUIREMENTS FOR SERVICE VEHICLES ONLY.

**BICYCLE PARKING REQUIREMENT:** 1 PER 3,000 SF (CATERING SERVICES)  
25% LONG TERM / 75% SHORT TERM  
21,592 / 3,000 = 7.2 = 8 SPACES REQUIRED  
2 LONG TERM / 6 SHORT TERM REQUIRED  
2 LONG TERM / 14 SHORT TERM PROVIDED

**BUILDING CODE SUMMARY:**

**APPLICABLE BUILDING CODES:**  
- 2014 OREGON STRUCTURAL SPECIALTY CODE (O.S.S.C.)  
- 2014 OREGON ENERGY EFFICIENCY SPECIALTY CODE (O.E.E.S.C.)  
- 2014 OREGON FIRE CODE (O.F.C.)  
- 2014 OREGON MECHANICAL SPECIALTY CODE (O.M.S.C.)  
- 2014 OREGON PLUMBING SPECIALTY CODE (O.P.S.C.)  
- 2014 OREGON ELECTRICAL SPECIALTY CODE (O.E.S.C.)

**OCCUPANCIES:** B (BUSINESS)  
F-1 (MODERATE HAZARD FACTORY INDUSTRIAL; BAKERIES, FOOD PROCESSING)  
S-1 (MODERATE HAZARD STORAGE; LUMBER)  
S-2 (LOW HAZARD STORAGE; BEVERAGES, DAIRY, FOOD PRODUCT)  
ASSUME NON-SEPARATED OCCUPANCIES; F-1 MOST RESTRICTIVE

**CONSTRUCTION TYPE:** VB, FULLY SPRINKLERED WITH NFPA 13 SYSTEM

**BASE ALLOWABLE HEIGHT:** 1 STORY/40 FEET

**ALLOWABLE HEIGHT INCREASES:** PROVIDING AN AUTOMATIC SPRINKLER SYSTEM (NFPA 13) CAN INCREASE BUILDING HEIGHT BY 20 FEET AND 1 STORY (OSSC 504.2)

**MAXIMUM ALLOWABLE HEIGHT:** 2 STORIES/60 FEET

**BASE ALLOWABLE AREA:** 8,500 SF

**AREA INCREASES:** AREA MAY BE INCREASED WITH BUILDING SEPARATION (ADD 0.66 OF BASE AREA) AND SPRINKLERS (ADD 3x BASE AREA).

**MAXIMUM ALLOWABLE AREA (PER STORY):** 31,110 SF (8,500 + 5,610 + 17,000)

**PLUMBING FIXTURES:** ALL RESTROOMS TO BE DESIGNED AS SINGLE OCCUPANT UNISEX RESTROOMS.

**WOODSHOP:**  
3,661 SF / 2,000 = 2 OCCUPANTS  
1 WATER CLOSET REQUIRED

**KITCHEN (INCLUDING FREEZERS, COOLERS AND OTHER STORAGE AREAS):**  
13,357 SF / 2,000 = 7 OCCUPANTS  
1 WATER CLOSET REQUIRED

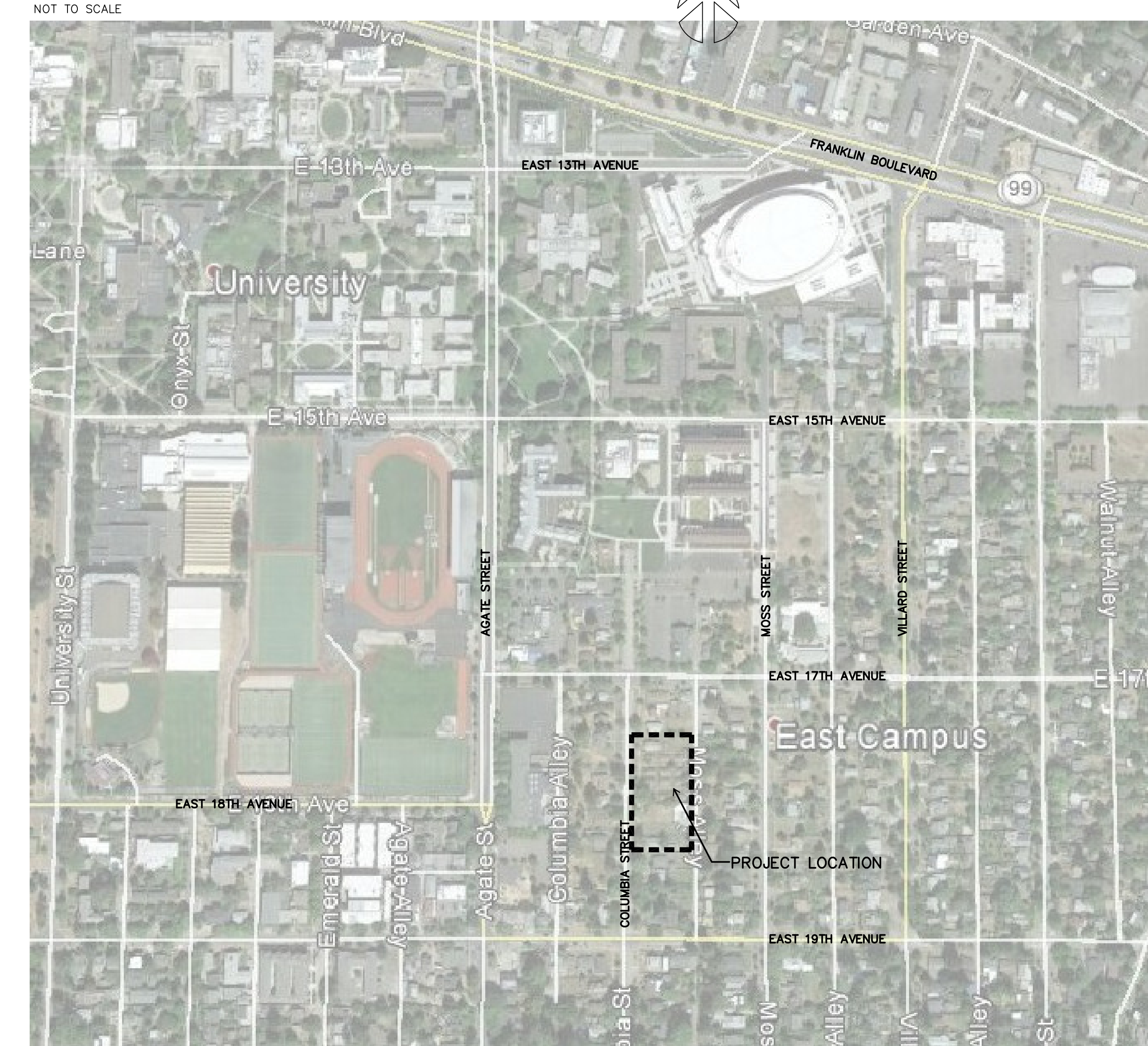
**ADMINISTRATION/STAFF SUPPORT AREAS (OFFICES, BREAK ROOM, LOCKER ROOM):**  
3,111 SF / 200 = 16 OCCUPANTS  
2 WATER CLOSETS REQUIRED

**MECHANICAL SPACES:**  
1,463 SF / 5,000 SF = 1 OCCUPANT  
1 WATER CLOSET REQUIRED  
5 WATER CLOSETS REQUIRED / 5 LAVATORIES REQUIRED

**BUILDING ENVELOPE ENERGY CODE SUMMARY (O.E.E.S.C.):**

ROOFS, INSULATION ABOVE DECK:	REQUIRED VALUE	DESIGNED VALUE
	R-20	R-30 MINIMUM
WALLS, WOOD FRAMED:	R-13 + R-3.8 ci	R-21 + R-4.5 ci
SLAB-ON-GRADE, UNHEATED:	NO REQUIREMENT	
SLAB-ON-GRADE, HEATED:	R-15	none proposed
OPAQUE DOORS, SWINGING:	U-0.70	U-0.70
OPAQUE DOORS, ROLL UP:	U-0.50	U-0.50
WINDOW FRAMING, METAL:	U-0.45 MAX 30% OF WALL AREA	U-0.46
SKYLIGHTS:	U-0.60 MAX 3% OF FLOOR AREA	none proposed

## VICINITY MAP



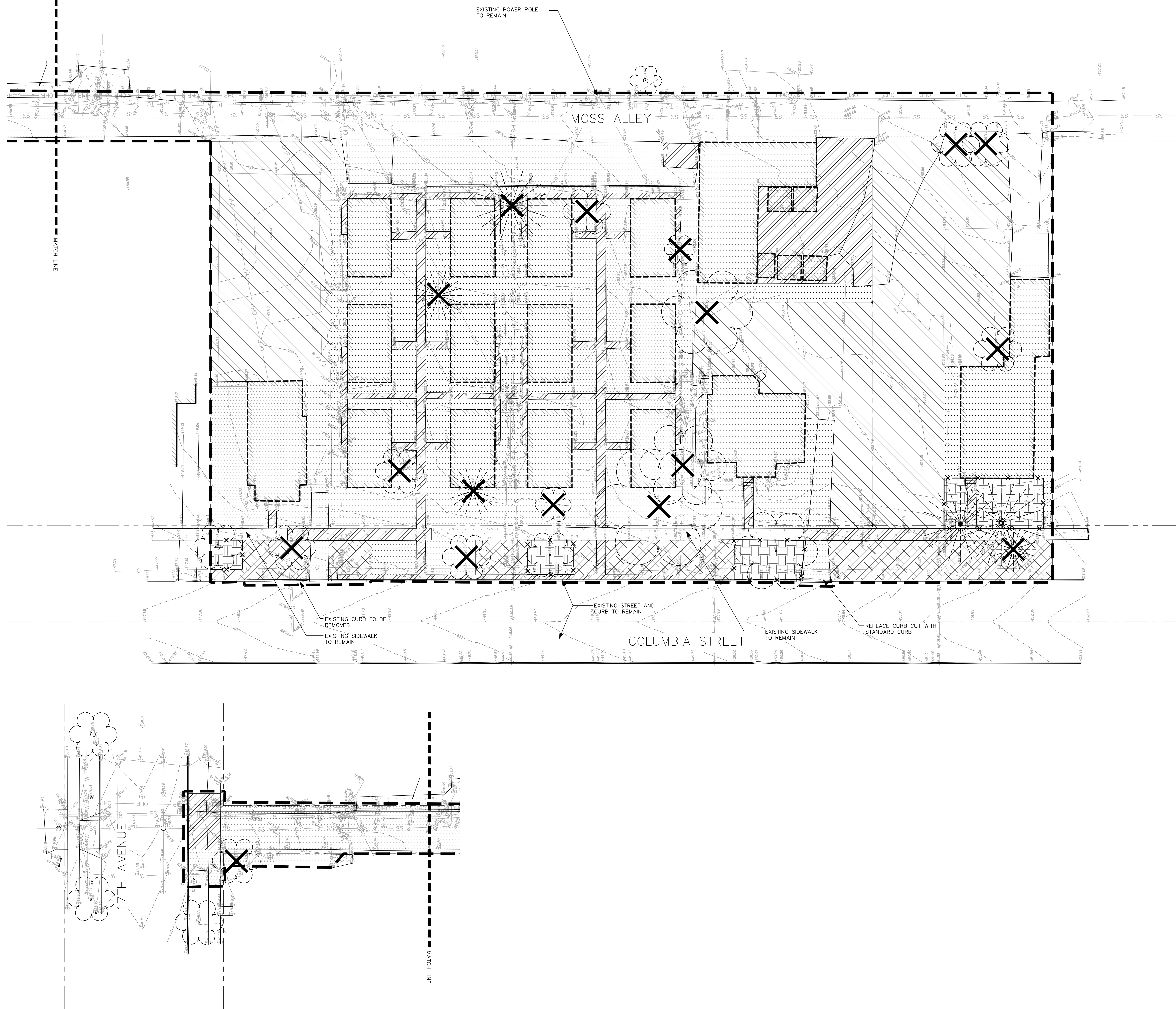
Robertson Sherwood Architects pc  
132 East Broadway, Suite 540  
Eugene, Oregon 97401  
P 541 | 342.8077  
F 541 | 345.4302  
www.robertsonsherwood.com

UO Housing Central Kitchen & Woodshop  
1800 Block of Columbia Street  
Eugene, OR 97403


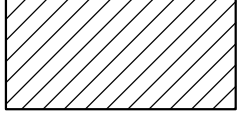

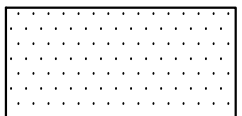
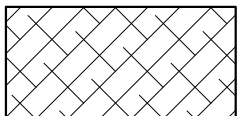
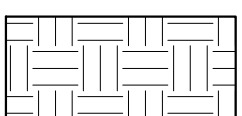
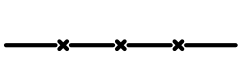
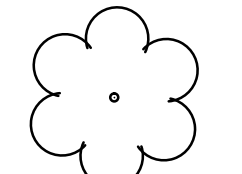


## PROJECT INFORMATION

Drawn By: SS  
Checked:  
Date: 17 JUNE 2014  
Project: 1407

GO.0

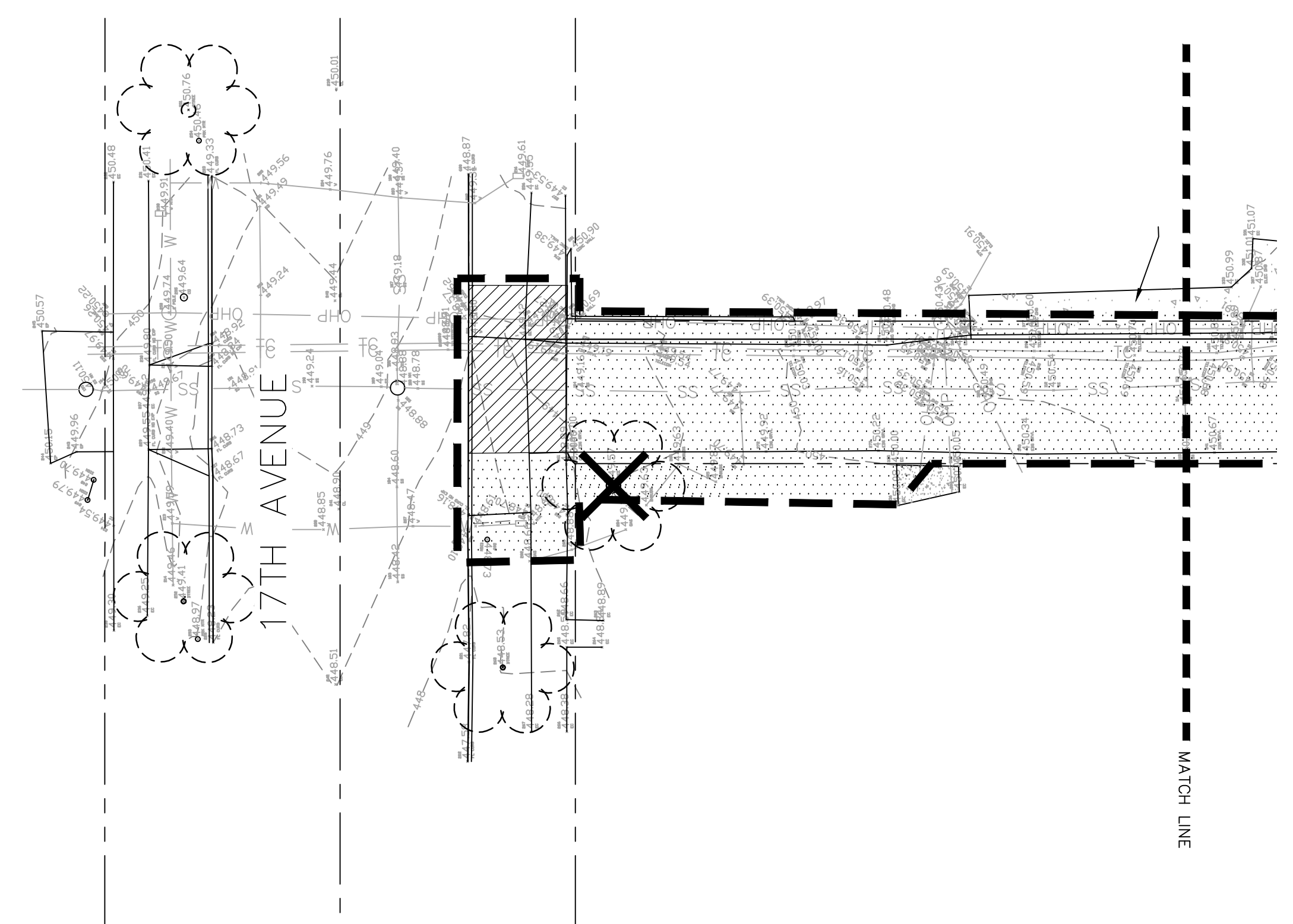


**LEGEND**

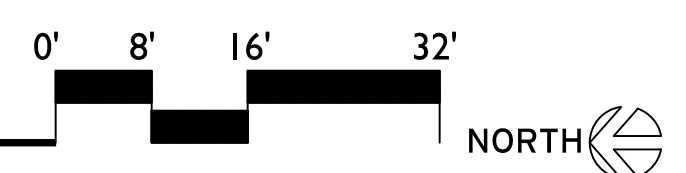
-  PROJECT LIMIT LINE Approximate
-  EXISTING PAVEMENT To Be Removed
-  POTENTIAL SOIL SALVAGE AREA
-  EXISTING GRAVEL OR SOIL To Be Removed
-  EXISTING SOIL TO BE RETAINED IN PLACE, SOO REMOVED, AND AMENDED
-  EXISTING SOIL TO BE PRESERVED AT EXISTING TREE ROOT ZONE To Be Protected
-  TREE PROTECTION FENCE
-  EXISTING TREES To Remain
-  EXISTING TREES To Be Removed
-  EXISTING BUILDING To Be Salvaged and Removed or Demolished

**NOTES**

- A. ALL SURVEY INFORMATION PROVIDED BY:  
FORD ASSOCIATES  
399 E. 10TH AVE  
EUGENE, OR 97401  
P: (541) 344-1852  
F: (541) 344-9923  
DATED: JUNE 3RD, 2013
- B. REMOVE SOIL, GRAVEL AND PAVEMENTS AS NECESSARY TO CONSTRUCT NEW IMPROVEMENTS.
- C. REFER TO CIVIL UTILITIES PLAN FOR ALL EXISTING UTILITY IMPACTS.
- D. ZONE OF PROTECTION - BOUNDARIES AS INDICATED AND DIRECTED BY THE LANDSCAPE ARCHITECT. ENCLOSE AREAS WITH TREE PROTECTION FENCING. OBTAIN ADVANCE WRITTEN AUTHORIZATION FROM THE LANDSCAPE ARCHITECT FOR REMOVAL OR MODIFICATION OF FENCING. THERE SHALL BE NO WORK CONDUCTED IN THE ENCLOSED AREA, NO STORAGE, NO TRAFFIC NOR OTHER ACTIVITY NOT PREVIOUSLY APPROVED BY LANDSCAPE ARCHITECT. WITHIN THIS ZONE ONLY TRENCH-LESS BORING AT PRE-AUTHORIZED DEPTHS, "AIR SPADE" TRENCHING OR HAND DIGGING, DO NOT CUT ROOTS LARGER THAN 1.5 INCHES DIAMETER WITHOUT APPROVAL. ALL ROOT CUTTING TO BE PERFORMED WITH APPROVED ROOT-PRUNING DEVICE. MAKE CLEAN, VERTICAL CUTS, LEAVING NO FRAIED OR SPLIT ENDS. BACKFILL WITH SPECIFIED TOPSOIL AS SOON AS PRACTICAL.
- E. TREE PROTECTION FENCE - INSTALL FENCE DURING INITIAL MOBILIZATION AT THE SITE AND MAINTAIN UNTIL SUBSTANTIAL COMPLETION. FENCE IS 6-FOOT CHAIN LINK AND SECURED WITH RIGID METAL, PLASTIC, OR WOOD POSTS 6' MIN. LENGTH AND ADEQUATE STRENGTH TO SUPPORT FENCING AND RESIST WIND AND MODERATE LIVE LOADS.
- F. WATERING - WATER TREES IF REQUIRED BY THE LANDSCAPE ARCHITECT. WATERING WILL BE REQUIRED IF IT IS JUDGED THAT ROOT REMOVAL IS NECESSARY FOR CONSTRUCTION AND THREATENS THE SURVIVAL OF THE TREE. USE A SLOW DRIP OR SOAKER HOSE TO PROVIDE ONE INCH WATER PER WEEK UNTIL COMPLETION OF CONSTRUCTION.



**A** EXISTING CONDITIONS/SALVAGE AND DEMOLITION PLAN  
1"=16'-0"



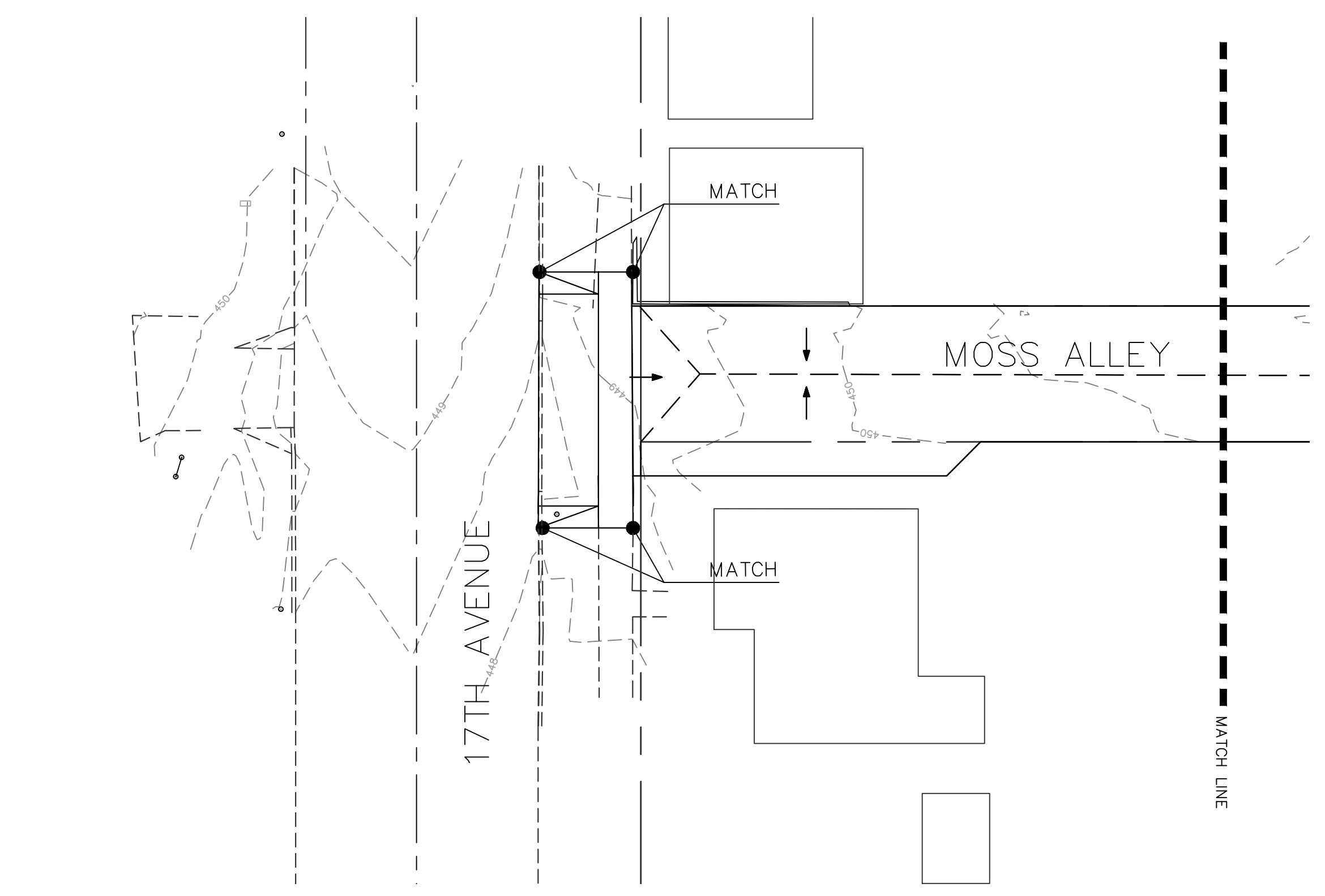
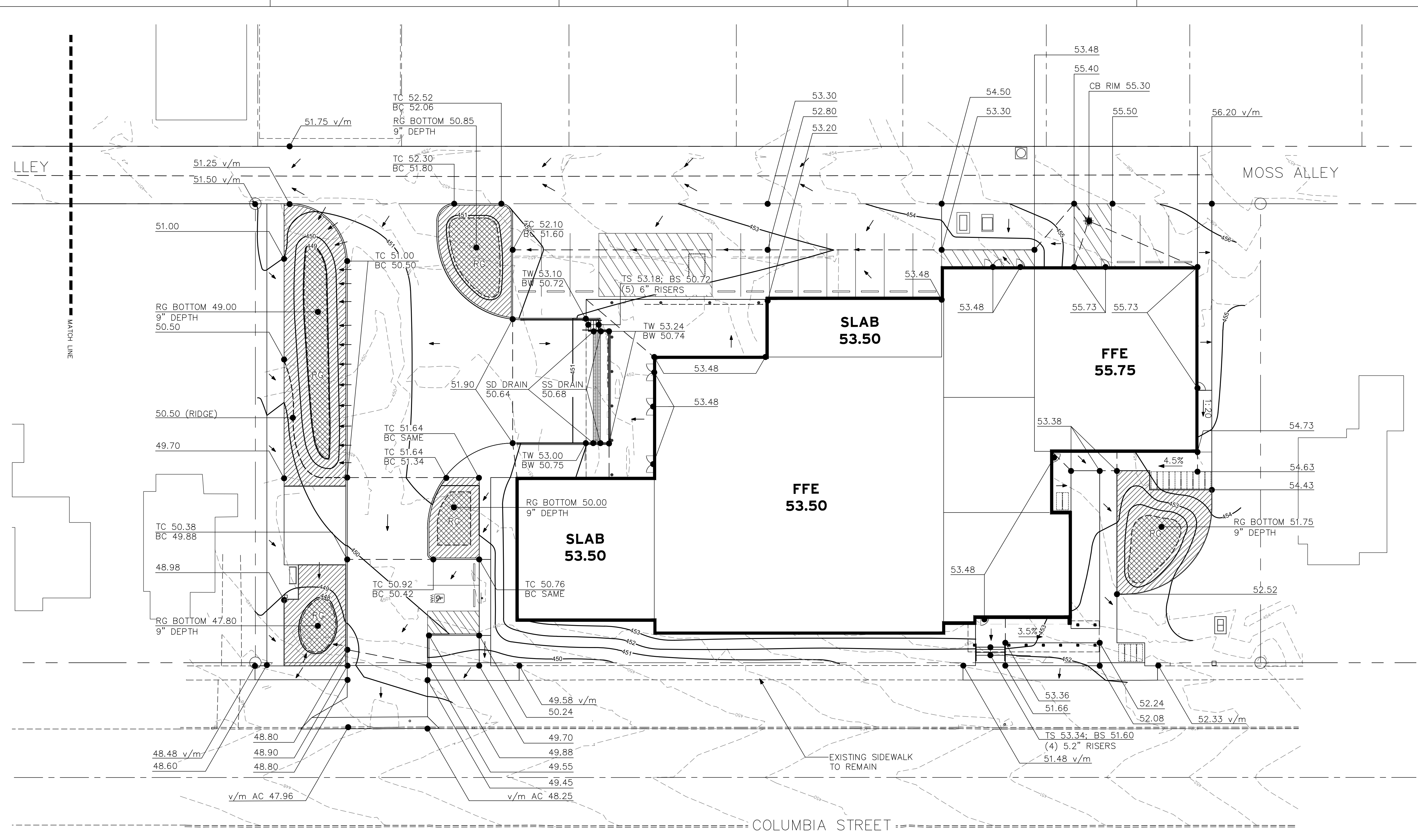


**LEGEND**

- Existing Contour
- New Contour
- FFE 56.00**  
 Finish Floor Elevation
- Spot Elevation
- Spot Elevation Verify/Match Existing Elevation
- Storm Drain Rim Elevation
- Catch Basin Rim Elevation
- Break in Plane  
Arrow indicates direction of flow
- Bottom of Rain Garden Elevation
- Rain Garden Feature  
Uniform Soil Elevation at Bottom of Feature (Treatment Area)  
See Note 9

**NOTES**

1. SURVEY INFORMATION PROVIDED BY:  
FORD ASSOCIATES  
399 E. 10TH AVE  
EUGENE, OR 97401  
P: (541) 344-1852  
F: (541) 344-9923  
DATED: JUNE 3RD, 2013
2. ELEVATIONS HAVE BEEN SIMPLIFIED. ADD 400' TO SIMPLIFIED ELEVATIONS.
3. VERIFY EXACT LOCATIONS AND ROUTING OF EXISTING UNDERGROUND UTILITIES PRIOR TO STARTING EXCAVATION. REPAIR ANY DAMAGE TO EXISTING PIPES, UTILITIES OR RELATED FACILITIES AT CONTRACTOR'S EXPENSE IN A MANNER APPROVED BY OWNER'S REPRESENTATIVE.
4. BARRICADE AND PROTECT TRUNKS, LIMBS, ROOTS AND ROOT ZONES BEYOND DRIPLINE OF EXISTING TREES AND PLANT MATERIALS TO REMAIN AS DIRECTED BY LANDSCAPE ARCHITECT. CUT NO LIMBS OR ROOTS LARGER THAN 2" IN DIAMETER WITHOUT APPROVAL OF LANDSCAPE ARCHITECT. NOTIFY LANDSCAPE ARCHITECT PRIOR TO PERFORMING ANY EXCAVATION WITHIN PROTECTION AREAS.
5. ALL ACCESSIBLE COMPONENTS INCLUDING, BUT NOT LIMITED TO SIGNS, RAMPS, TACTILE WARNING, MARKINGS, ETC. SHALL CONFORM TO ALL OREGON STATE STANDARDS FOR PARKING AND ACCESS FOR THE DISABLED. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLING ANY RELATED WORK.
6. INSTALL NEW UTILITIES SO THAT RIM ELEVATIONS ARE FLUSH WITH FINISH GRADES AT PAVEMENT, LAWN AND PLANT BEDS. ADJUST RIM ELEVATIONS OF EXISTING UTILITIES ACCORDINGLY.
7. VERIFY EXISTING ELEVATIONS WHERE NEW WORK ABUTS EXISTING TO REMAIN. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION.
8. CONSTRUCT SMOOTH TRANSITIONS BETWEEN NEW PAVING IMPROVEMENTS AND EXISTING PAVING TO REMAIN.
9. RAIN GARDEN FEATURES THAT ARE LOCATED ADJACENT TO VEHICLE PAVING WILL INCLUDE A CONCRETE CONTAINMENT EDGE/CURB WITH AN ELEVATION SET 6" ABOVE THE PAVEMENT. THIS EDGE WILL INCORPORATE INTERMITTENT VOIDS TO ALLOW PASSAGE OF SURFACE DRAINAGE FROM THE PAVEMENT INTO THE VEGETATED FEATURE.

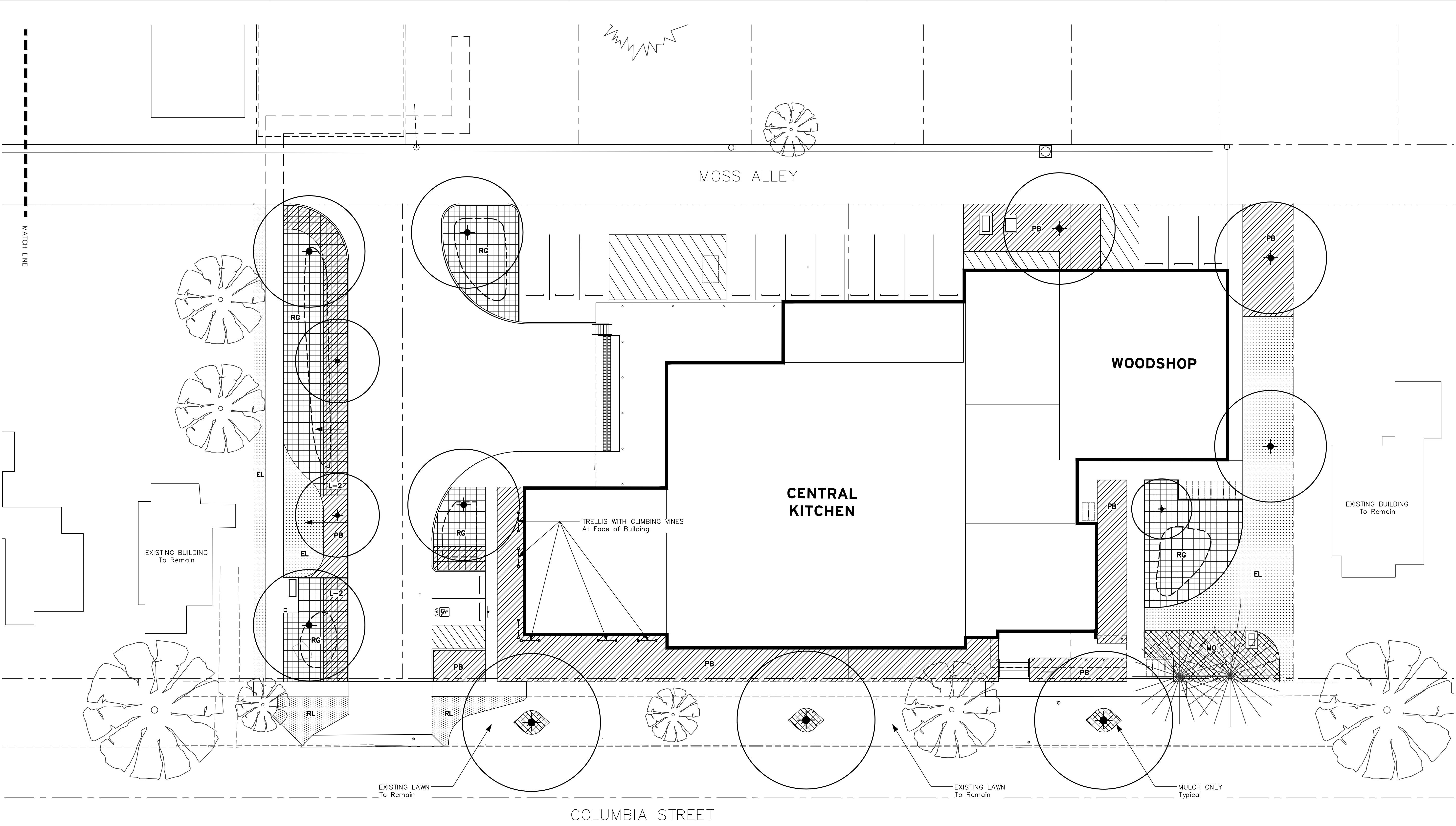
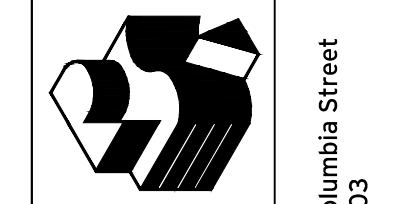


**GRADING PLAN**  
A1.0  
1" = 16'-0"

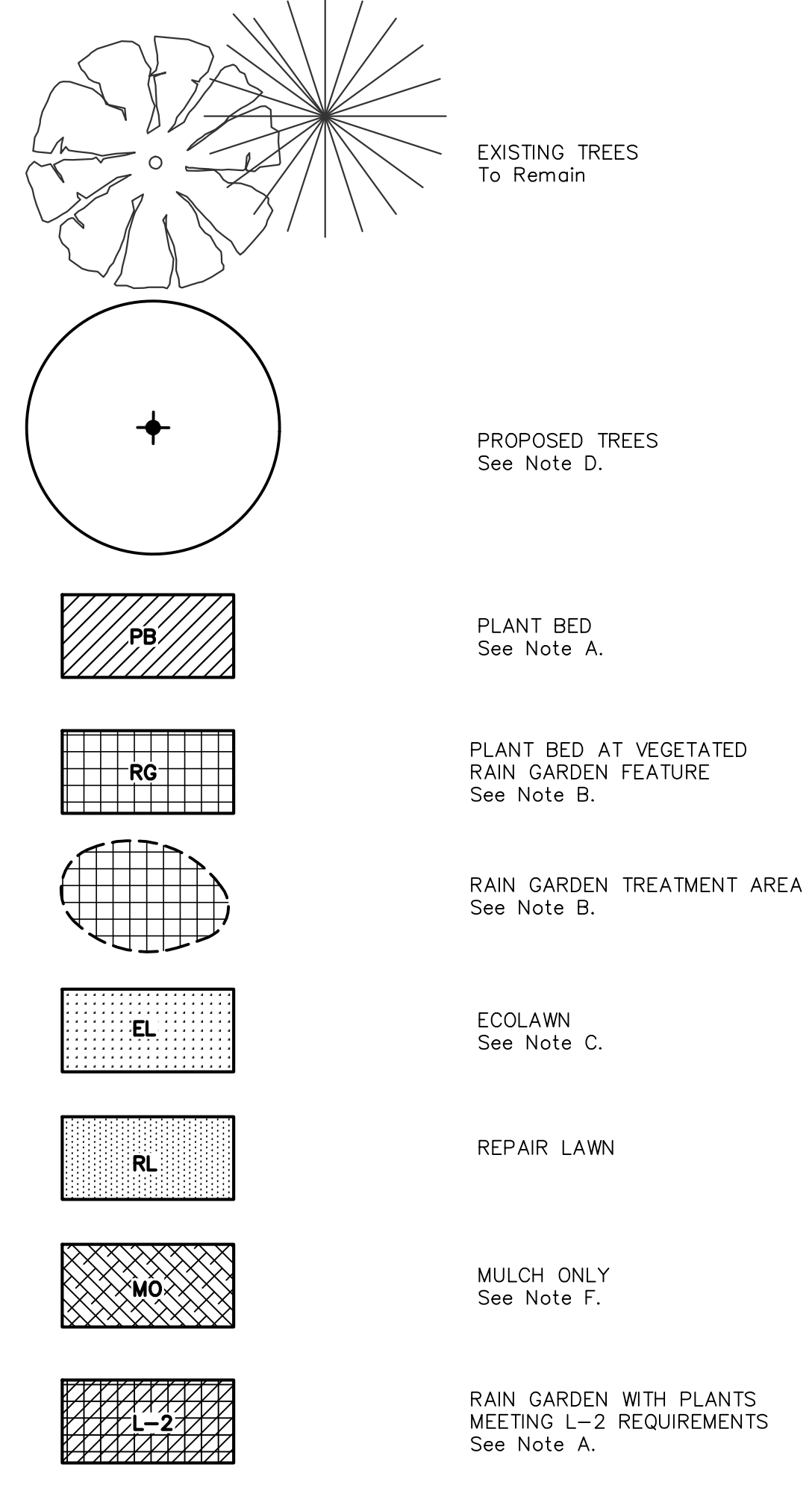


**GRADING PLAN**

Drawn By	KH
Checked	
Date	17 JUNE 2014
Project	1407



LEGEND



PLANTING NOTES

- A. PLANT BED AREAS WILL FEATURE DROUGHT TOLERANT NATIVE PLANTINGS SELECTED FROM THE PRIMARY PLANT LIST PROVIDED BELOW. THE DESIGN WILL INCORPORATE A VARIETY OF FLOWERING PERENNIALS TO CREATE BOTH SEASONAL VISUAL INTEREST AND CONTRIBUTE POLLEN AND NECTAR TO BENEFICIAL INSECTS THAT ALSO VISIT NEARBY VEGETABLE GARDENS (CASL HOUSE, AGATE HALL, AND FUTURE GARDEN GREEN). PLANT BEDS ADJACENT TO VEHICLE DRIVEWAYS AND PARKING WILL BE EVERGREEN TYPE AND 30"-42" IN HEIGHT AT MATURITY TO COMPLY WITH CITY OF EUGENE REQUIREMENTS.
- B. THE ON-SITE RAIN GARDENS WILL BE USED FOR TREATMENT OF STORMWATER. THE TREE AND SHRUB PLANTINGS WILL CONFORM TO LANDSCAPE STANDARDS SET FORTH IN THE CITY OF EUGENE STORMWATER MANAGEMENT MANUAL.
- C. AN ECO-LAWN SEEDMIX WILL BE SELECTED THAT INCLUDES LOW GROWING GRASSES AND CLOVERS. SOME PLANTS IN THE MIX, SUCH AS THE CLOVER, WILL SERVE AS AN ADDITIONAL FOOD SOURCE FOR BENEFICIAL INSECTS. THE SURFACE IS INTENDED TO BE MOWN AND WALKABLE - TO FACILITATE PEDESTRIAN MOVEMENT BETWEEN PARKED CARS AND THE PUBLIC SIDEWALK.
- D. NEW STREET TREES WILL BE PLANTED WITH LARGE CANOPY DECIDUOUS SPECIES TO IMPROVE SUN AND RAIN SHELTER AT THE COLUMBIA STREET AXIS. NEW TREES PROPOSED AT THE PARKING AND SERVICE AREA WILL ALSO BE LARGE CANOPY DECIDUOUS TYPES FOR SHADING PAVEMENT. A FEW CONIFEROUS TREES WILL BE PLANTED IN SELECTED LOCATIONS. THESE TREES WILL SERVE AN EDUCATIONAL PURPOSE AS LIVING COUNTERPARTS FOR SOME OF THE RAW MATERIALS USED IN THE WOODSHOP.
- E. ALL PLANTINGS AND PLANT INSTALLATION WILL CONFORM WITH THE UNIVERSITY OF OREGON PLANTING STANDARDS. THE PLANTS AND TREES WILL BE SELECTED FROM THE PLANT LIST AS SHOWN ON THE DRAWING.
- F. WITHIN THE AREA SHOWN BENEATH THE EXISTING TREES TO REMAIN, THE SOIL WILL BE STRIPPED AND EXISTING SOIL BENEATH WILL BE UNDISTURBED. A 4" BARK MULCH CAP WILL BE PLACED OVER THE AREA TO SUPPRESS WEEDS AND RETAIN SOIL MOISTURE.

IRRIGATION NOTES

- H. THE IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED TO BE AS EFFICIENT IN TERMS OF WATER USAGE AS POSSIBLE. IT WILL USE WATER-CONSERVING LOW GALLON POP-UP SPRAY HEADS. ALL PLANTS AND PLANTED AREAS ARE TO RECEIVE IRRIGATION THAT WILL INSURE COMPLETE COVERAGE AND APPROPRIATE ZONING FOR REQUIRED WATER NEEDS.
- I. THE IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC UNDERGROUND SYSTEM WITH BACKFLOW PREVENTION DEVICE. SYSTEM TO BE INSTALLED IN A MANNER WHICH MEETS OR EXCEEDS ALL APPLICABLE CODES AND UNIVERSITY OF OREGON STANDARDS. A PERMANENT SYSTEM WITH 100% HEAD TO HEAD COVERAGE MUST BE INSTALLED AT ALL TREE, SHRUB, AND GROUND COVER PLANTINGS.
- J. ALL IRRIGATION PRODUCTS USED THROUGHOUT THE PROJECT SHALL CONFORM WITH THE UNIVERSITY OF OREGON CONSTRUCTION STANDARDS. SPRINKLER HEADS ARE TO BE PLASTIC "POP-UP" HEADS. SPRAY SPRINKLERS ARE TO BE USED AT ALL NEW PLANTED AREAS. INSTALL SPRAY HEADS 3" FROM ADJACENT PAVEMENT AND PLANTING EDGES; 6" FROM PAVEMENT AND PLANTING EDGES IN PARKING AREAS IF LOCATED AT PARKING STRIPE (24" IF LOCATED WITHIN BUMPER OVERHAND AREA) UNLESS DIRECTED OTHERWISE BY LANDSCAPE ARCHITECT. ADJUST RADIUS ON SPRAY HEADS AS NECESSARY TO MINIMIZE OVERSPRAY WHILE ACHIEVING FULL AND EVEN COVERAGE OF PLANTED AREAS.

PLANT LIST

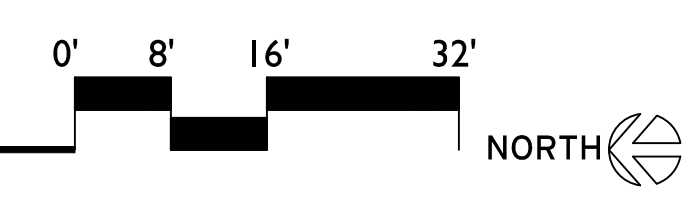
Qty	Key	Botanical Name	Common Name	Size
<b>Trees</b>				
Ace mac		Acer macrophyllum	Bigleaf Maple	2" ca.
Ace cir		Acer circinatum	Vine Maple	1 1/2" ca.
Alm aln		Alnus incana	Almond	2" ca.
Aln rub		Alnus rubra	Red Alder	2" ca.
Cor nut		Cornus nuttallii	Pacific Dogwood	2" ca.
Cor S		Cornus 'Starlight'	Starlight Dogwood	2" cal
Pin pon		Pinus ponderosa	Ponderosa Pine	8" ht.
Pse men		Pseudotsuga menziesii	Douglas Fir	8" ht.
Que gar		Quercus garryana	Oregon White Oak	2" ca.
Seq sem		Sequoia sempervirens	Coast Redwood	8" ht.
Thu plic		Thuja plicata	Western Red Cedar	8" ht.
Ulm parv		Ulmus parvifolia 'Atlee'	Chinese Elm	
Zal ser		Zelkova serata 'Village Green'	Village Green Japanese Zelkova	
<b>Shrubs, Ferns and Ground Covers</b>				
Adi ped		Adiantum pedatum	Maidenhair Fern	#3
Arc uva		Arcostaphylos uva-ursi	Kinnickinnick	#1
Ble spi		Blechnum spicant	Deer Fern	#3
Cea glo		Ceanothus glaucus	Point Reyes Ceanothus	#1
Car ser		Cornus sericea	Redosier Dogwood	#3
Car ser F		Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	#5
Car ser K		Cornus sericea 'Kelsey'	Kelsey Dogwood	#1
Dry ery		Dryopteris erythrosora	Autumn Fern	#5
Gau sha		Gaultheria shallon	Salal	#3
Hol dis		Holodiscus discolor	Oceanspray	#5
Mah agu C		Mahonia aquifolium 'Compacta'	Compact Oregon Grape	#1
Mah rep		Mahonia repens	Creeping Mahonia	#1
Ones cer		Onoclea sensibilis	Indian Plum	#3
Pol mun		Polystichum munitum	Sword Fern	#3
Pol set		Polystichum setiferum	Alaskan Fern	#3
Rho sp.		Rhododendron sp.	Rhododendron	#5
Ros nut		Rosa nutkana	Nootka Rose	#2
Rib san K		Ribes sanguineum	Red Flowering Currant	#5
Samb rac		Sambucus racemosa	Red Elderberry	#5
Sym alb		Symphoricarpos albus	Snowberry	#5
Spi dou		Spiraea douglasii	Douglas Spiraea	#3

PLANT LIST

Qty	Key	Botanical Name	Common Name	Size
<b>Perennials/Bulbs</b>				
Aqu for		Aquilegia formosa	Aquilegia	#3
Asa cau		Asarum canadense	Wild Ginger	#1
Cor can		Cornus canadensis	Bunchberry	#1
Cam sp.		Camassia sp.	Camass Lily	#1
Cro sp.		Crocus sp.	Crocus	#1
Dic for		Dicentra formosa	Bleeding Heart	#3
Eri fil		Eriogonum filifolium	Threadleaf Fleabane	#1
Eri com		Eriogonum compositum	Northern Buckwheat	#1
Eri ten		Eriogonum tenellum	Tall Buckwheat	#1
Hem sp.		Hemerocallis spp.	Daylily	#2
Heu vil A		Heuchera villosa 'Autumn Bride'	Autumn Bride Coral Bells	#1
Its tenax		Itsine tenax	Oregon Iris	#1
Lup sp.		Lupinus sp.	Lupine species	#1
Rub hir		Rubus hirta	Black-eyed Susan	#3
Tul		Tulipa sp. 'Darwin Hybrid'	Darwin Hybrid Tulip	1 Bulb
<b>Ornamental Grasses</b>				
Car alb		Carex albula	Frosty Curts Sedge	#1
Car tes		Carex testacea	Orange Sedge	#1
Des cae		Deschampsia caespitosa	Tufted Hairgrass	#1
Fes gla E		Festuca glauca 'Elijah Blue'	Blue Fescue	#1

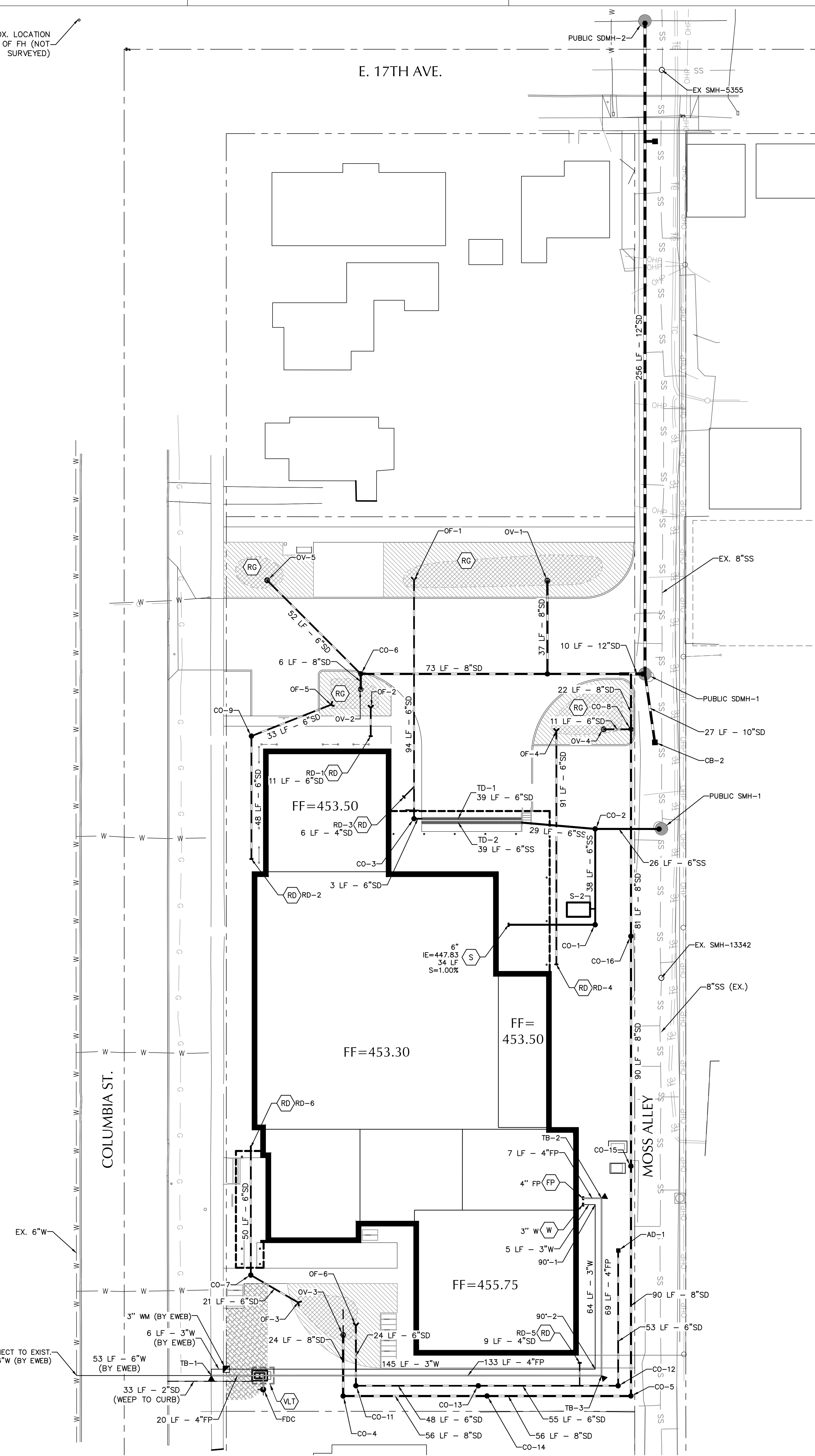
STORMWATER TREATMENT PLANT LIST

Qty	Key	Botanical Name	Common Name	Size
<b>Small Trees</b>				
Ace cir		Acer circinatum	Vine Maple	1 1/2" ca.
Bet nig		Betula nigra	River Birch	6" ht.
Fra lat		Fraxinus latifolia	Oregon Ash	2" ca.
<b>Large Shrubs</b>				
Adi ped		Adiantum pedatum	Maidenhair Fern	#3
Ble spi		Blechnum spicant	Deer Fern	#3
Cor ser		Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	#3
Phy cap		Physocarpus capitatus	Pacific Ninebark	#3
Rib san		Ribes sanguineum	Red Flowering Currant	#3
Spi dou		Spiraea douglasii	Douglas Spiraea	#3
<b>Small Shrubs/Grasses</b>				
Car dew		Carex deweyana	Dewey Sedge	#1
Car mor I		Carex morrowii 'Ice Dance'	Ice Dance Sedge	#1
Car obt		Carex obtusa	Slough Sedge	#1
Car ser		Cornus sericea	Redosier Dogwood	#1
Des cae		Deschampsia caespitosa	Tufted Hairgrass	#1
Gau sha		Gaultheria shallon	Salal	#1
Mah agu C		Mahonia aquifolium 'Compacta'	Compact Oregon Grape	#1
<b>Groundcovers</b>				
Arc uva		Arcostaphylos uva-ursi	Kinnickinnick	#1
Cam qua		Camassia quamash	Camass Lily	#1
Fra ves		Fragaria vesca	Woodland strawberry	#1
Jun eff		Juncus effusus var. pacificus	Soft Rush	#1
Jun pat		Juncus patens	Common Rush	#1
Mah rep		Mahonia repens	Creeping Mahonia	#1
Oxa ore		Oxalis oregana	Oregon Oxalis	#1
Van hex		Vancouveria hexandra	Inside-out Flower	#1



APPROX. LOCATION OF FH (NOT SURVEYED)

E. 17TH AVE.



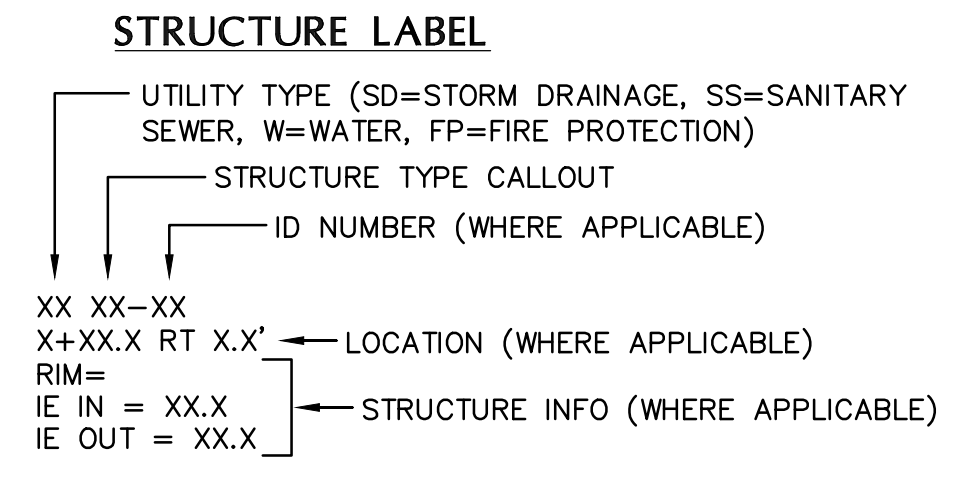
**SHEET NOTES**

- PIPE BEDDING AND BACKFILL FOR ALL UTILITIES SHALL BE DONE PER DETAIL X/CS.X.
- STRUCTURES LOCATIONS ARE BASED ON CENTER OF STRUCTURE.
- INSTALL THRUST BLOCK ON FIRE AND WATER LINES PER DETAIL X/CS.X.

**KEY NOTES**

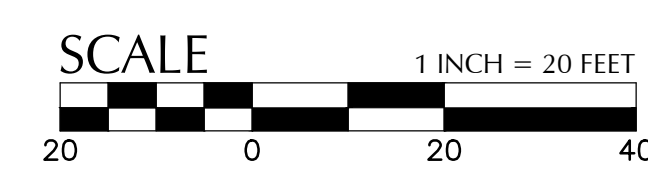
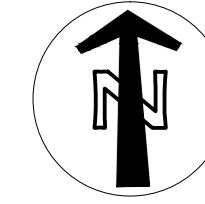
- COORDINATE WATER SERVICE POINT OF CONNECTION TO EXISTING "X" MAIN WITH CITY OF XXX.
- FIELD VERIFY LOCATION AND IE OF EXISTING "X" LATERAL PRIOR TO CONSTRUCTION.
- IRRIGATION BACKFLOW ASSEMBLY VAULT, SEE LANDSCAPE PLANS.

**UTILITY LABEL LEGEND**

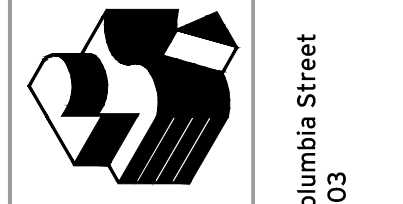


**SHEET LEGEND**

- (VLT) COMBINATION FIRE AND WATER VAULT (X) (CS)
- (W) CONNECT TO COLD WATER SYSTEM. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED. (X) (CS)
- (G) CONNECT TO GAS METER. CONTRACTOR TO COORDINATE WITH GAS COMPANY. SEE PLUMBING FOR CONTINUATION.
- (IR) IRRIGATION POINT OF CONNECTION. SEE IRRIGATION PLANS FOR CONTINUATION.
- (FP) CONNECT TO FIRE PROTECTION SYSTEM. SIZE AS NOTED. SEE PLUMBING PLANS FOR CONTINUATION.
- (FTP) STORMWATER FLOW-THROUGH PLANTER. ID AS SHOWN.
- (SS) CONNECT TO WASTE LINE. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AS NOTED.
- (SD) CONNECT TO STORM DRAIN/ROOF DRAIN. SEE PLUMBING PLANS FOR CONTINUATION. SIZE AND IE AS NOTED.
- (RG) VEGETATED RAIN GARDEN
- (H) UTILITY CROSSING. PROVIDE 12" MIN. CLEARANCE, U.N.O.



PRELIMINARY NOT FOR CONSTRUCTION



1700 Block of Columbia Street  
Eugene, OR 97403

**Robertson Sherwood Architects PC**  
 www.robertsonsherwood.com  
 P 541 342.8077  
 F 541 345.4302

**UO Housing Central Kitchen & Woodshop**

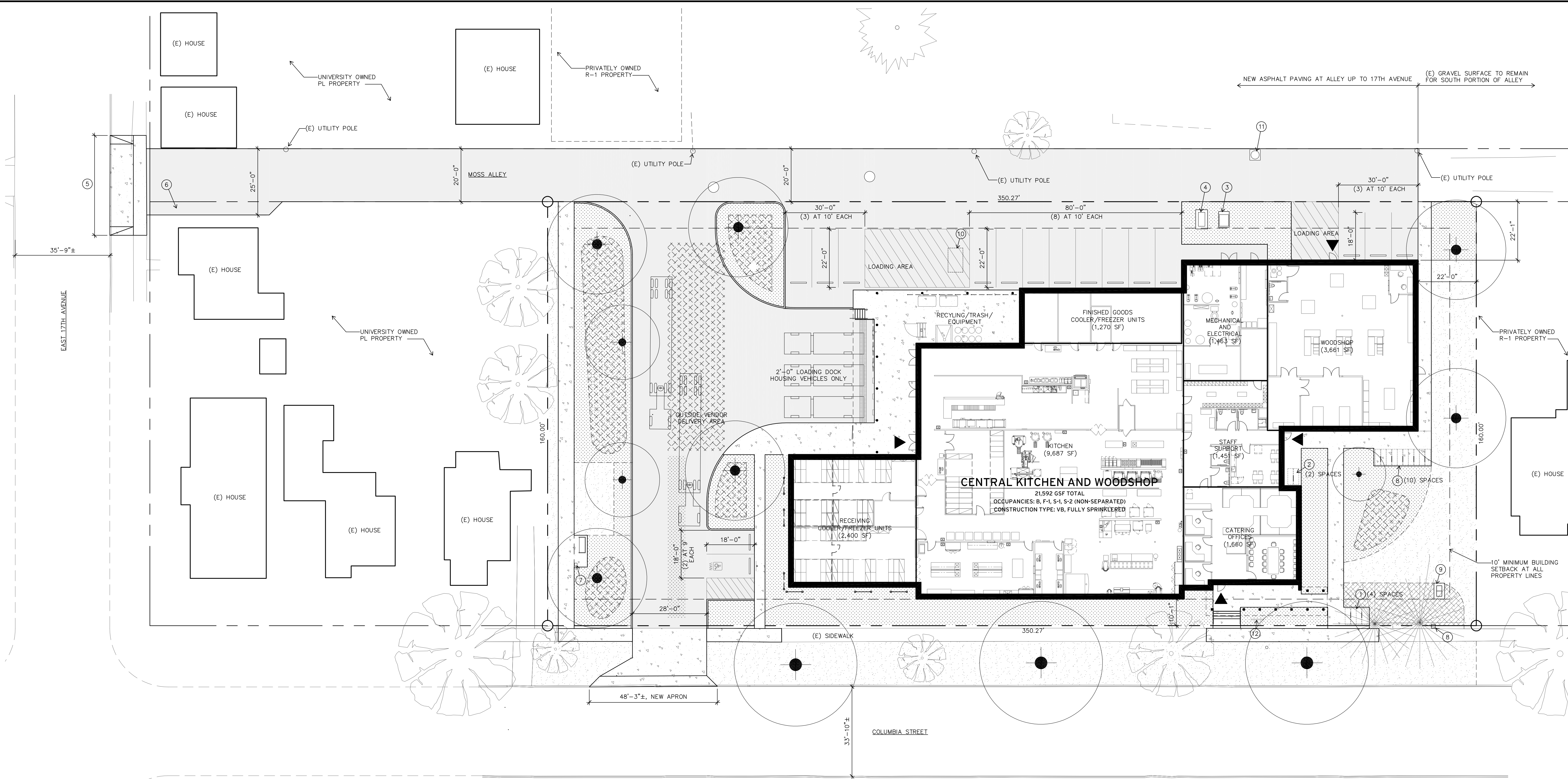
**Schematic Design Submission**

**UTILITY PLAN**

Drawn By	ALB
Checked	MK
Date	22 MAY 2014
Project	1407

**C1.0**

File: C:\p\p\2014\174805-UD-Housing-Kitchen-and-Woodshop\CAD\PL01\4805-02UT.dwg TAB: C1.0  
 XREF: 4805-02.dwg  
 © 2014 Robertson Sherwood Architects PC



**A SITE PLAN**  
 1/16" = 1'-0"



**SITE PLAN LEGEND**

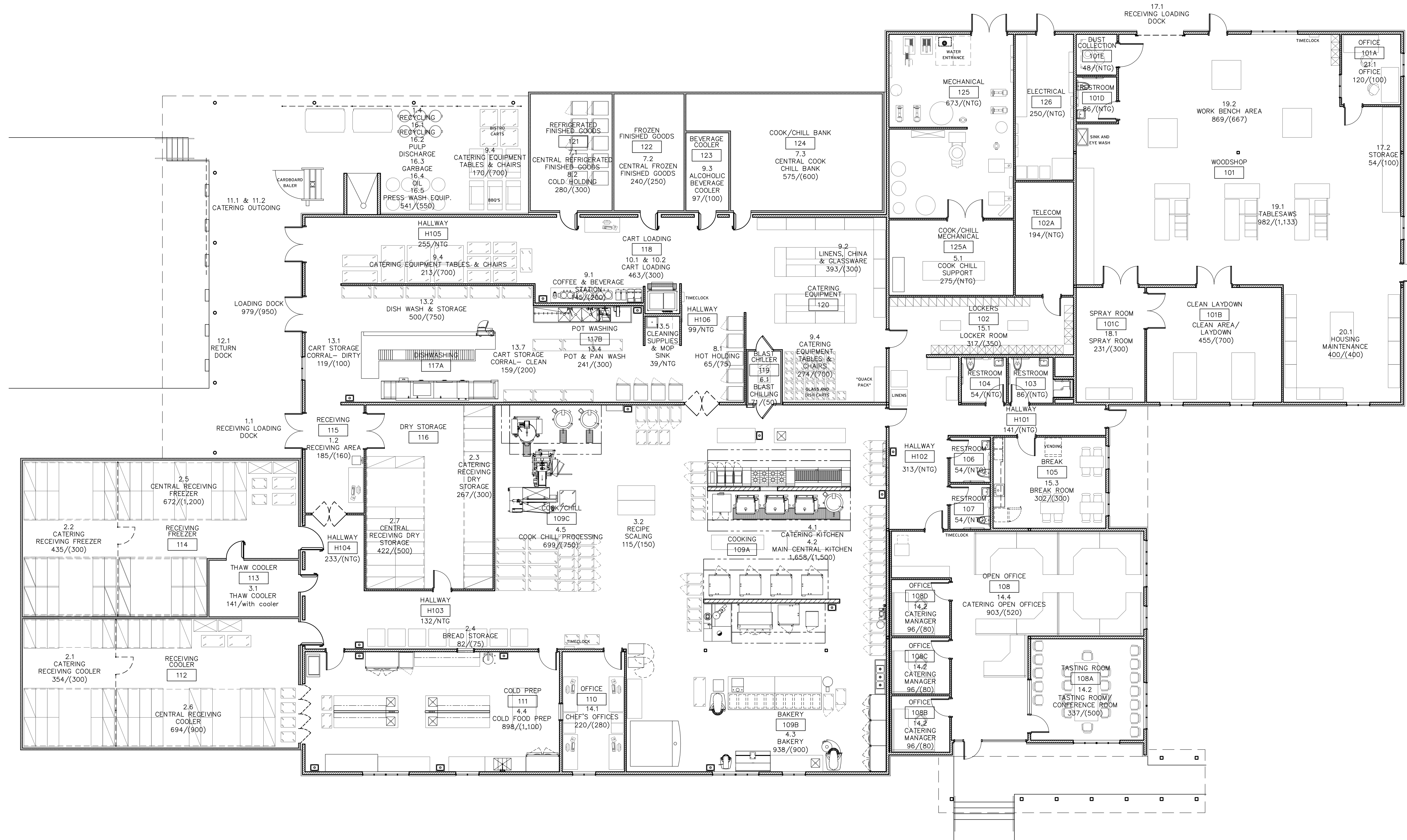
- NEW ASPHALT PAVING
- NEW CONCRETE PAVING
- NEW POROUS ASPHALT OR POROUS CONCRETE PAVING
- RAIN GARDEN STORMWATER FACILITY
- NEW PLANT BED
- LAWN AREA
- EXISTING TREE
- NEW TREE
- MAIN BUILDING ENTRANCE

**GENERAL SITE PLAN NOTES**

- A. DRAWING BASED ON SURVEY INFORMATION DATED MAY 16TH, 2013, PREPARED BY SSW ENGINEERS.
- B. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE INFORMATION.
- C. CONTRACTOR RESPONSIBLE FOR PROTECTING EXISTING SURFACES, UTILITIES, PLANTING AND OTHER FEATURES TO REMAIN.

**KEYED SITE PLAN NOTES**

- 1 SHORT TERM BICYCLE PARKING: HOOP STYLE BICYCLE RACKS; 2'x6" SPACES.
- 2 COVERED LONG TERM BICYCLE PARKING: HOOP STYLE BICYCLE RACKS; 2'x6" SPACES.
- 3 ELECTRICAL TRANSFORMER BY UTILITY.
- 4 EMERGENCY GENERATOR; ADDITIVE ALTERNATE TO BUDGET.
- 5 ALLEY APPROACH AND APRON TO BE WIDENED TO ALLOW FOR DELIVERY TRUCK MOVEMENT INTO ALLEY.
- 6 A PORTION OF THE UNIVERSITY OWNED PROPERTY TO THE WEST OF THE ALLEY ENTRANCE WILL BE REQUIRED TO BE DEDICATED TO THE PUBLIC RIGHT-OF-WAY TO PROVIDE A WIDENED SECTION OF IMPROVED ALLEY TO ALLOW FOR DELIVERY TRUCK MOVEMENT INTO ALLEY. ADDITIONAL SURVEY INFORMATION IS REQUIRED TO DETERMINE GRADES AND LOCATION OF EXISTING STRUCTURES.
- 7 EMERGENCY PHONE, OF/CI.
- 8 WATER METER
- 9 BELOW GRADE WATER BACKFLOW PREVENTION DEVICE VAULT.
- 10 BELOW GRADE GREASE INTERCEPTOR.
- 11 BELOW GRADE VAULT FOR UNIVERSITY DATA CONDUIT.
- 12 MAIN BUILDING SIGN, OF/OI.

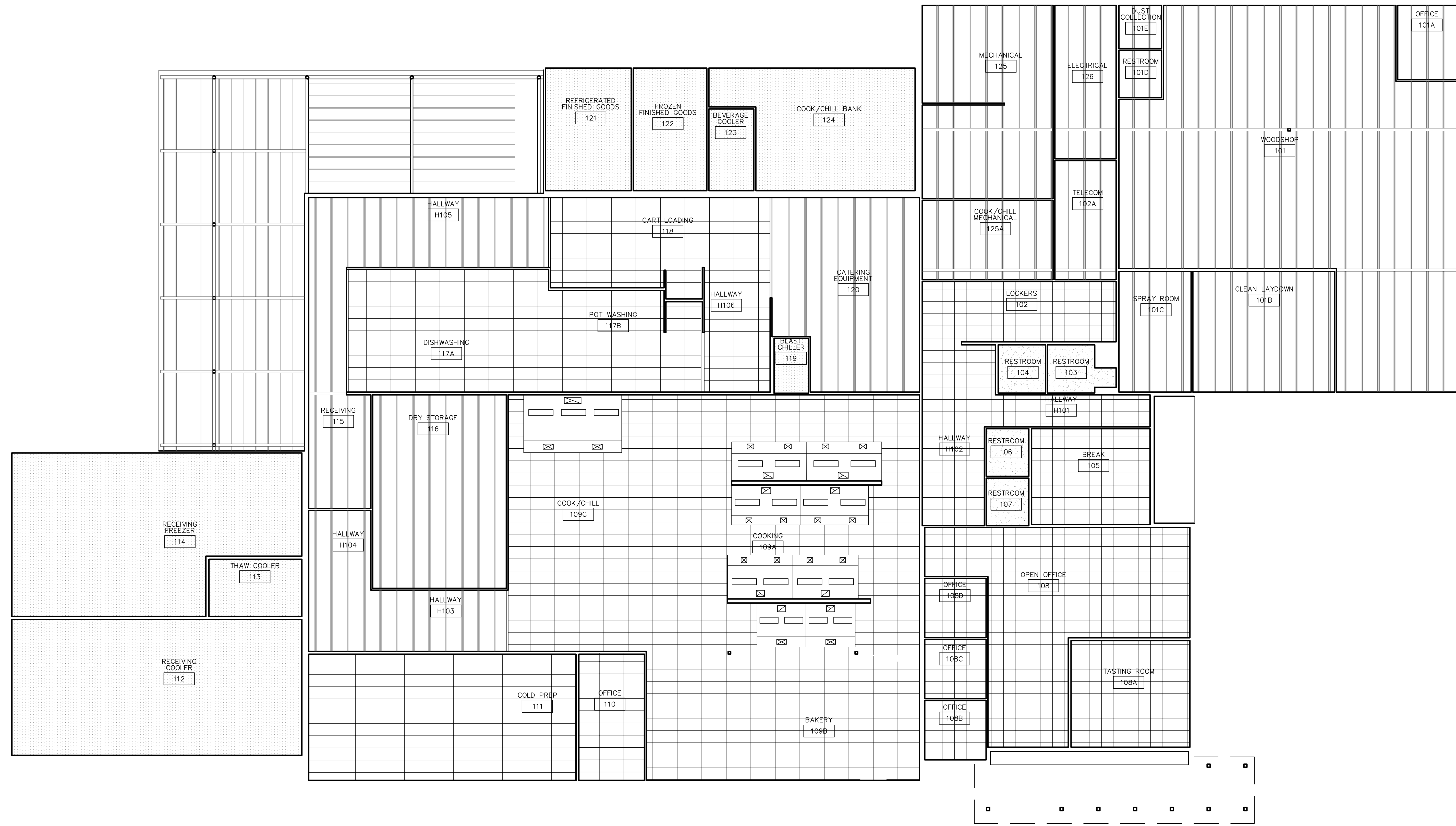
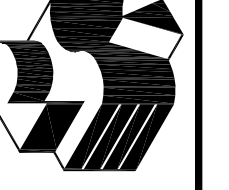


**FLOOR PLAN**  
A1.1 1/8"=1'-0"



**WALL SCHEDULE**

- ① TYPICAL EXTERIOR WALL - INTERIOR WALL FINISH AS NOTED BELOW
  - 1/2" BC PLYWOOD W/ EPOXY PAINT AT KITCHEN
  - 1/2" CDX PLYWOOD, UNPAINTED, AT WOODSHOP AND MECHANICAL SPACES
  - 5/8" GYPSUM BOARD, PAINTED, AT OFFICE AND STAFF SUPPORT AREAS
  - WALL VAPOR RETARDER
  - 2x6 WOODS AT 16" ON CENTER W/ R-21 BATT INSULATION
  - 1/2" PLYWOOD SHEATHING
  - WEATHER RESISTIVE BARRIER (VAPOR PERMEABLE)
  - 1" RIGID INSULATION BOARD (R-6)
  - DRAINAGE PLANE
  - FIBER-CEMENT SIDING (LAP OR PANEL), PAINTED
- ② TYPICAL INTERIOR WALL - 2x4 WOOD STUDS (2x6 STUDS AT PLUMBING WALLS OR WHERE NOTED) AT 16" O.C. WITH FINISH EACH SIDE AS NOTED BELOW
  - 1/2" BC PLYWOOD W/ EPOXY PAINT AT KITCHEN
  - 1/2" CDX PLYWOOD, UNPAINTED, AT WOODSHOP AND MECHANICAL SPACES
  - 5/8" GYPSUM BOARD, PAINTED, AT OFFICE AND STAFF SUPPORT AREAS
- ③ TYPICAL COOLER/FREEZER WALL - 4" INSULATION PANEL WITH METAL FACING LAMINATED BOTH SIDES. REFER TO FOOD SERVICE DRAWINGS AND SPECIFICATIONS.
- ④ COOKING LINE WALL (NON-COMBUSTIBLE) - 8" STEEL STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE. FINISH FACE OF STAINLESS STEEL PANELING.



**A**  
**AT.2** REFLECTED CEILING PLAN  
1/8"=1'-0"



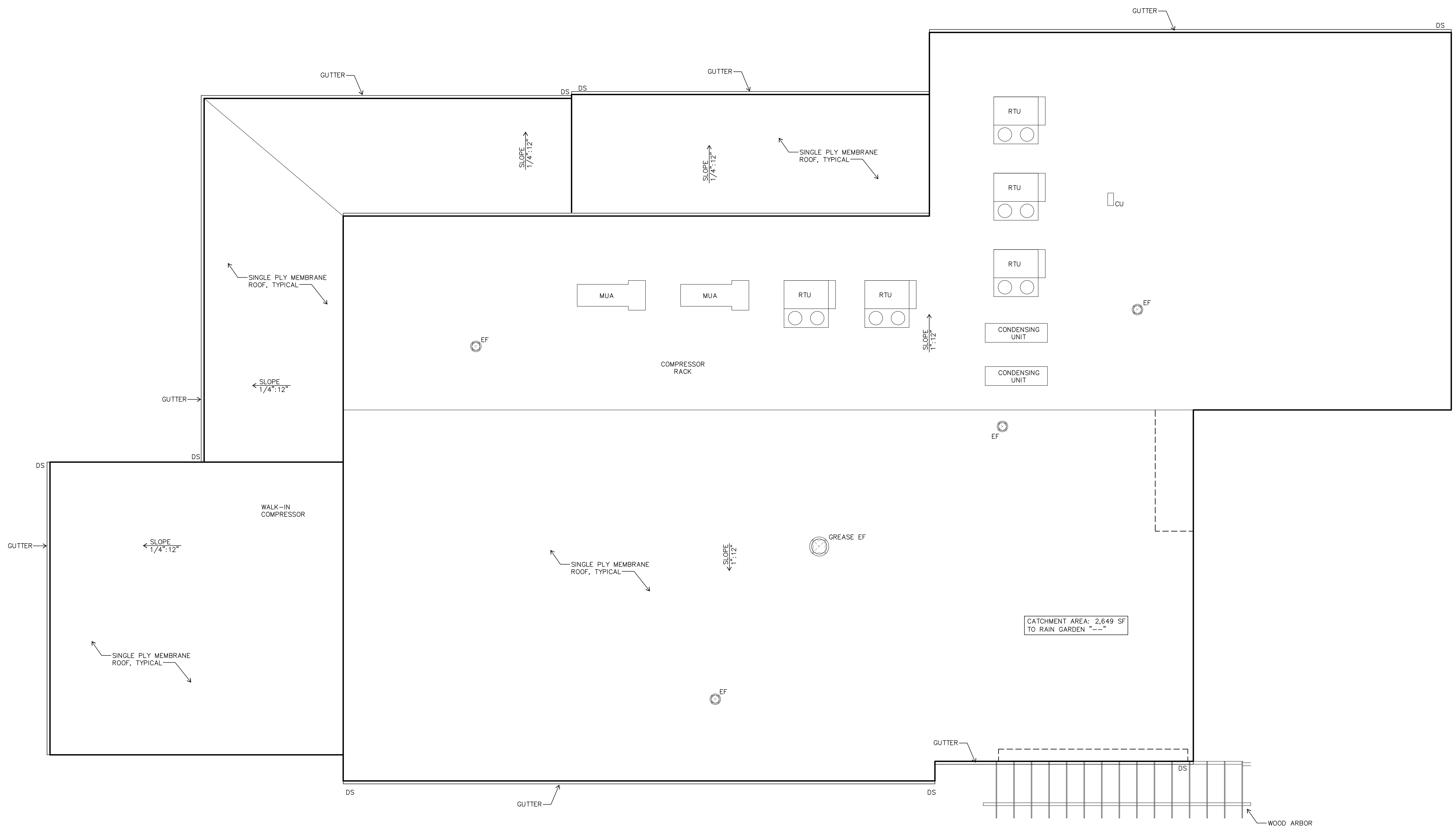
**RCP LEGEND**

- ACOUSTICAL CEILING PANEL TYPE 1 (ACP-1):  
2'x4' PANELS W/ SCRUBBABLE VINYL FACE  
10'-0" A.F.F., TYPICAL U.O.N.
- ACOUSTICAL CEILING PANEL TYPE 2 (ACP-2):  
2'x4' PANELS (SCORED FOR 2'x2' APPEARANCE); MEDIUM TEXTURE FACE  
9'-0" A.F.F., TYPICAL U.O.N.
- GYPSUM BOARD CEILING  
8'-0" A.F.F., TYPICAL U.O.N.
- INSULATED COOLER OR FREEZER PANEL
- EXPOSED STRUCTURE/NO FINISH CEILING

**REFLECTED CEILING PLAN**

Drawn By	SS
Checked	
Date	17 JUNE 2014
Project	1407





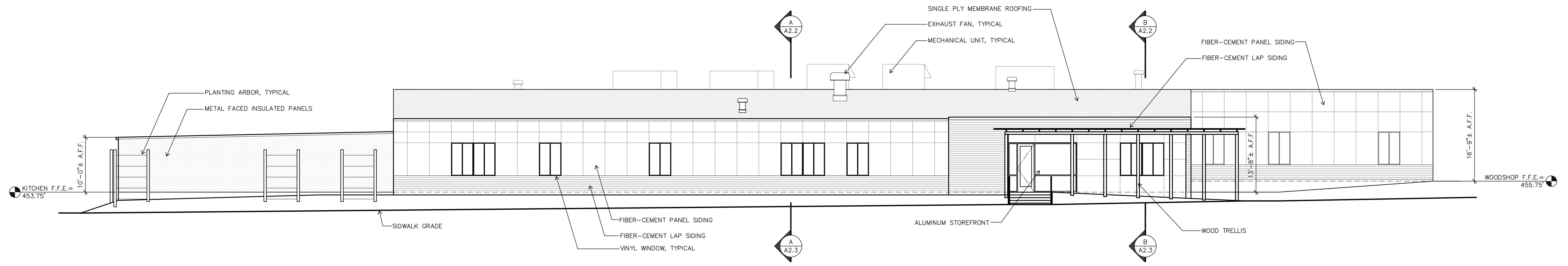
**ROOF PLAN**  
 A1.3  
 1/8" = 1'-0"



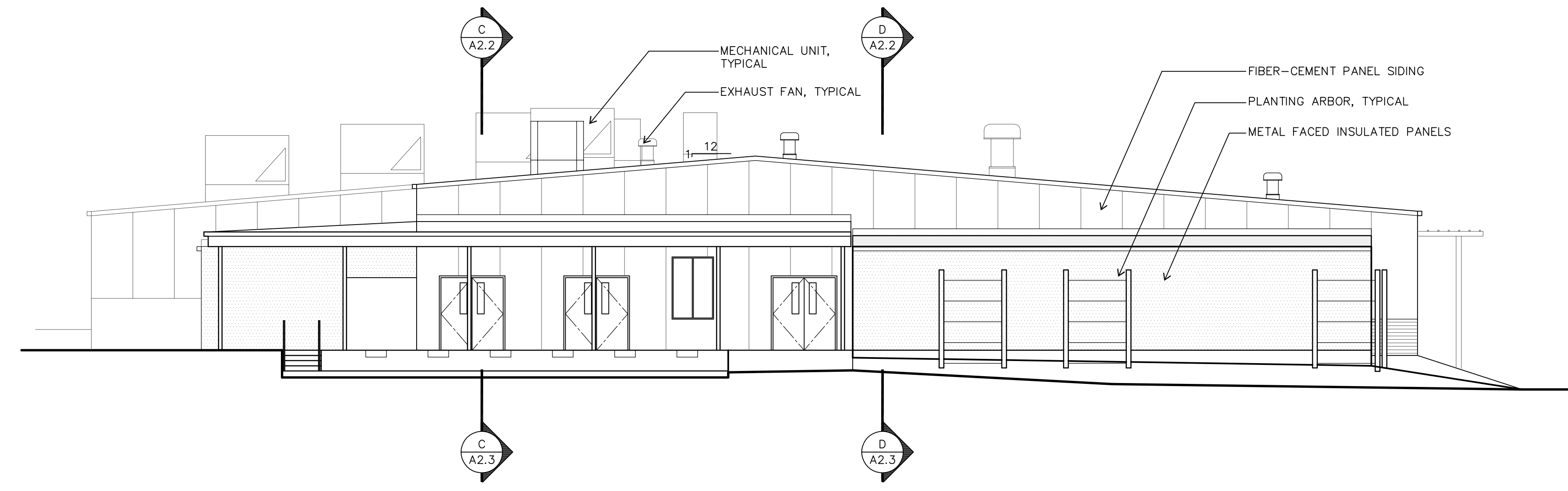
**GENERAL ROOF PLAN NOTES**

- A. ROOF DRAIN SIZES NOTED ARE THE MINIMUMS REQUIRED PER CATCHMENT AREA AND SIZING BASED ON THE OREGON PLUMBING SPECIALTY CODE. PER THE UO CAMPUS CONSTRUCTION STANDARDS, ALL ROOF DRAINS ARE TO BE A MINIMUM OF 3".
- B. REFER TO SHEET A1.0 FOR LOCATIONS OF STORMWATER RAIN GARDENS

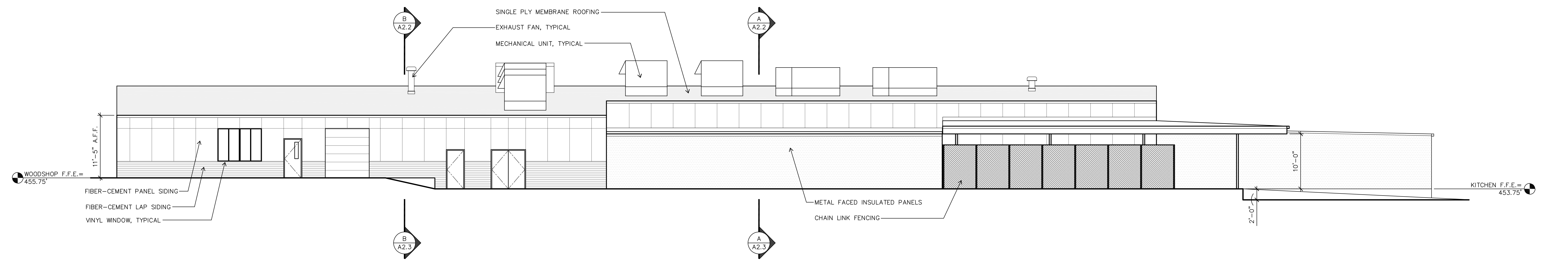
Drawn By	SS
Checked	
Date	17 JUNE 2014
Project	1407



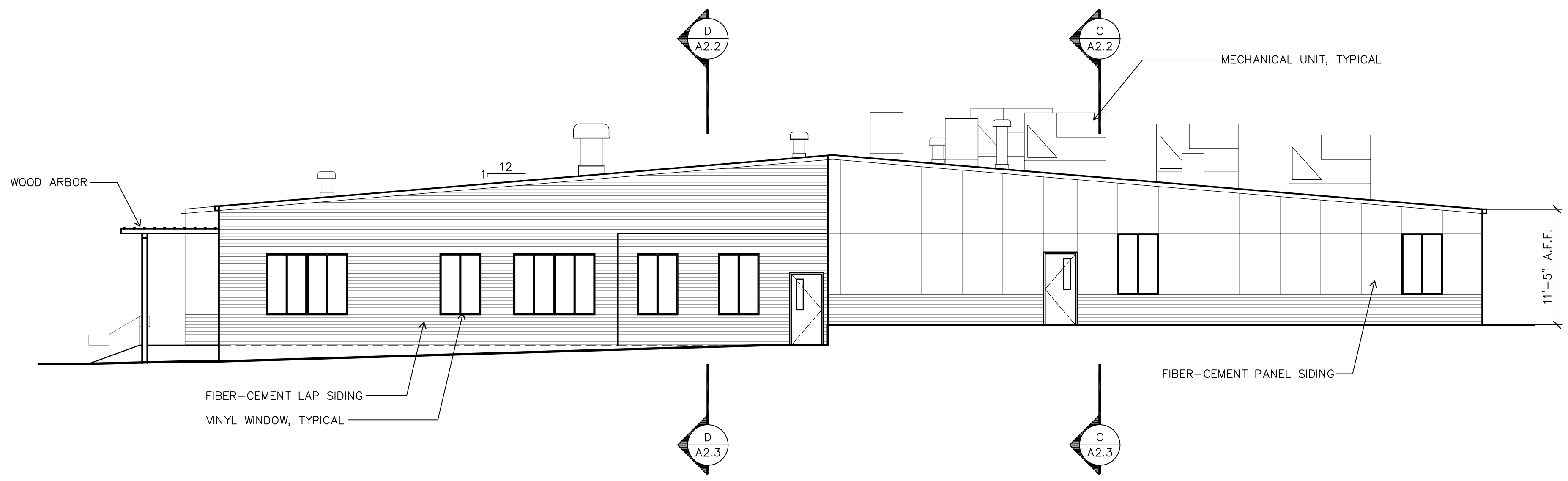
**A WEST ELEVATION (COLUMBIA STREET ELEVATION)**  
 A2.1 1/8"= 1'-0"



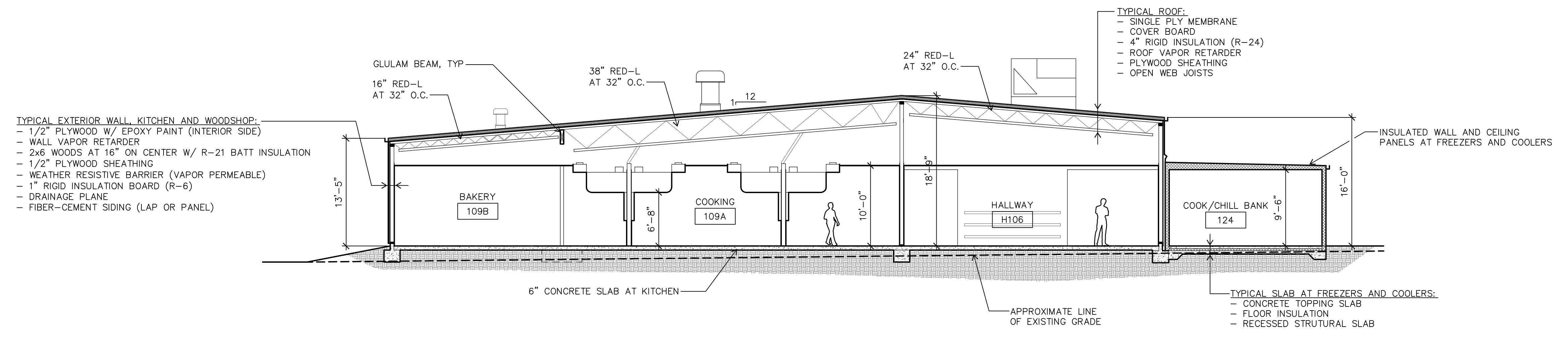
**B NORTH ELEVATION**  
 A2.1 1/8"= 1'-0"



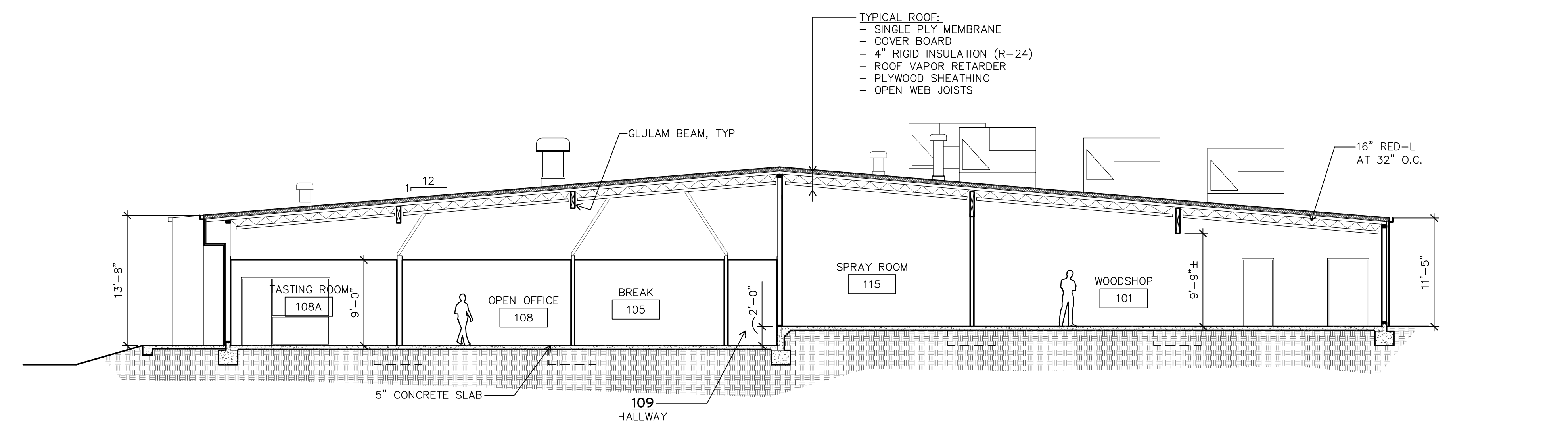
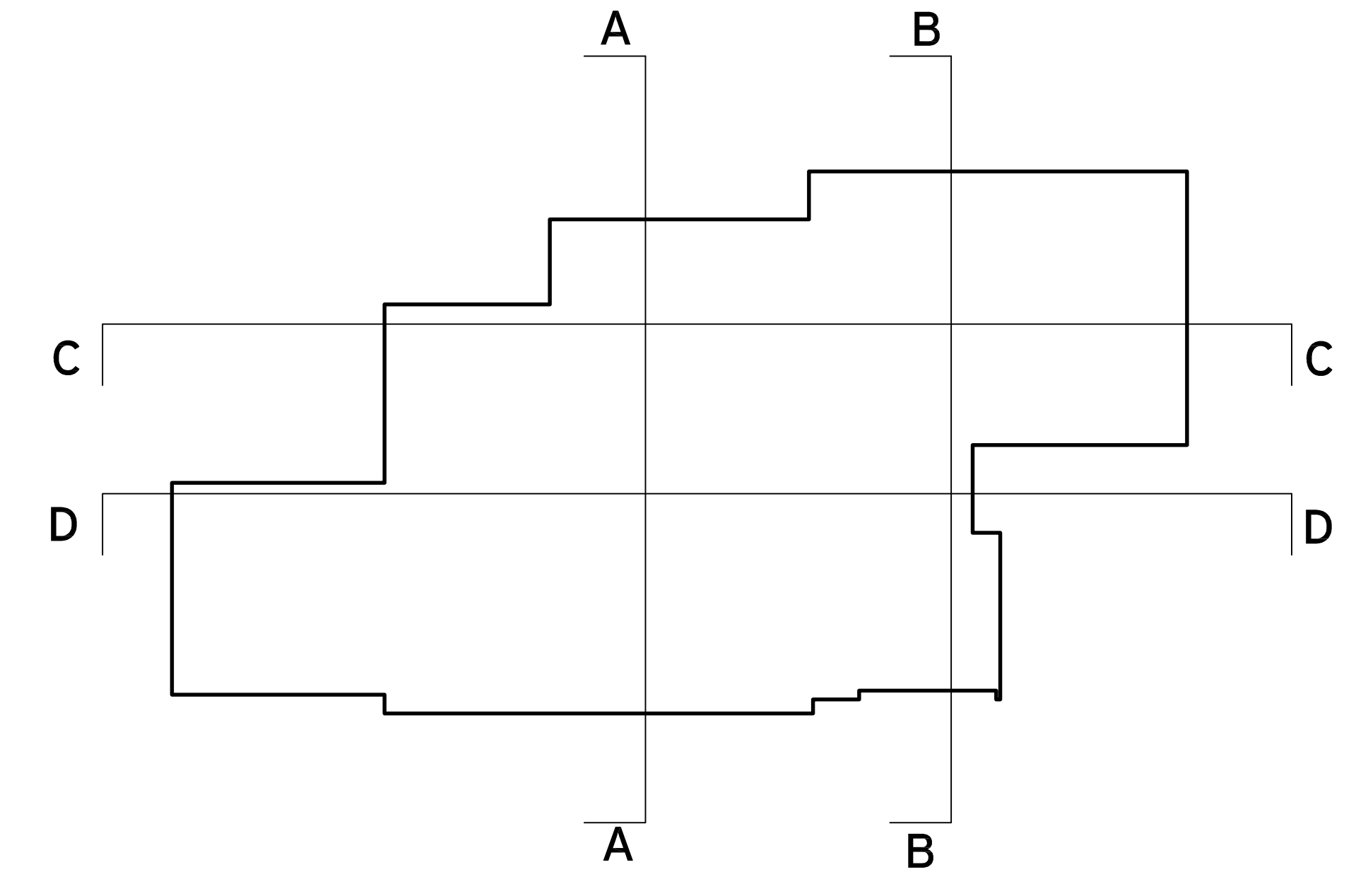
**C EAST ELEVATION (MOSS ALLEY ELEVATION)**  
 A2.1 1/8"= 1'-0"



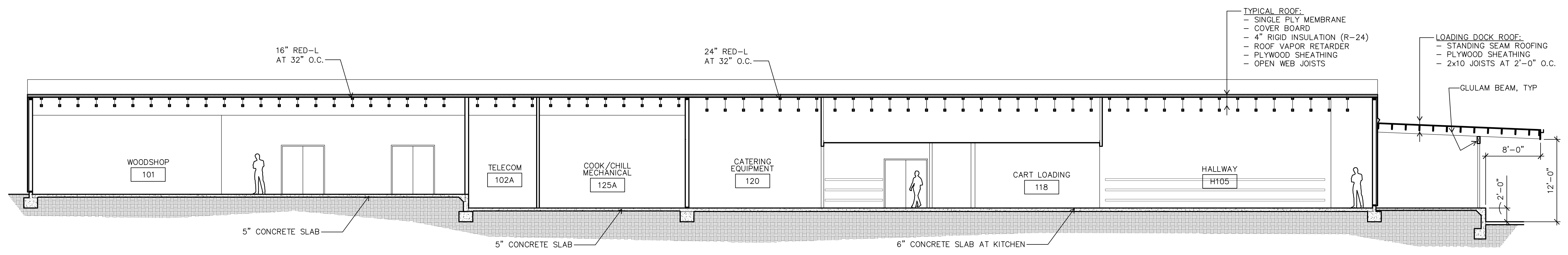
**D SOUTH ELEVATION**  
 A2.1 1/8"= 1'-0"



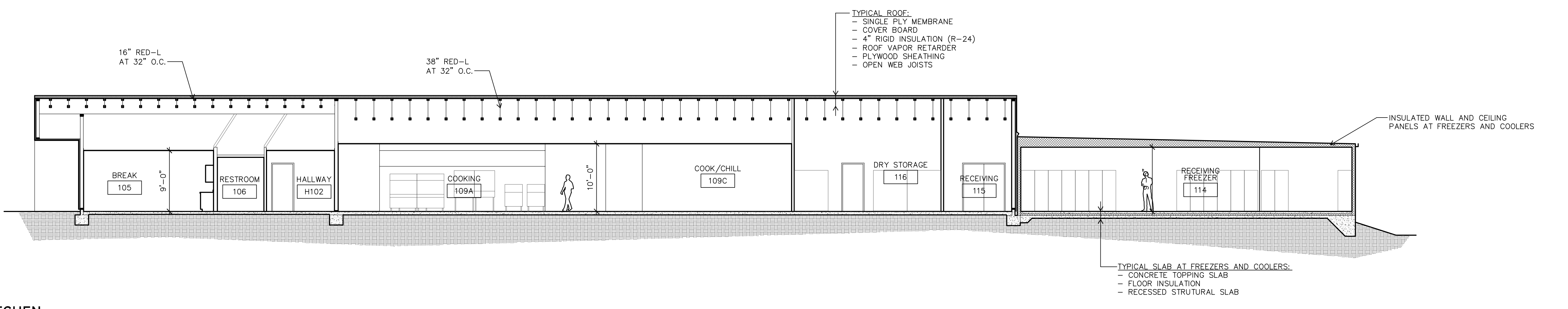
**A**  
**A2.2**  
 NORTH FACING SECTION AT KITCHEN  
 1/8"=1'-0"



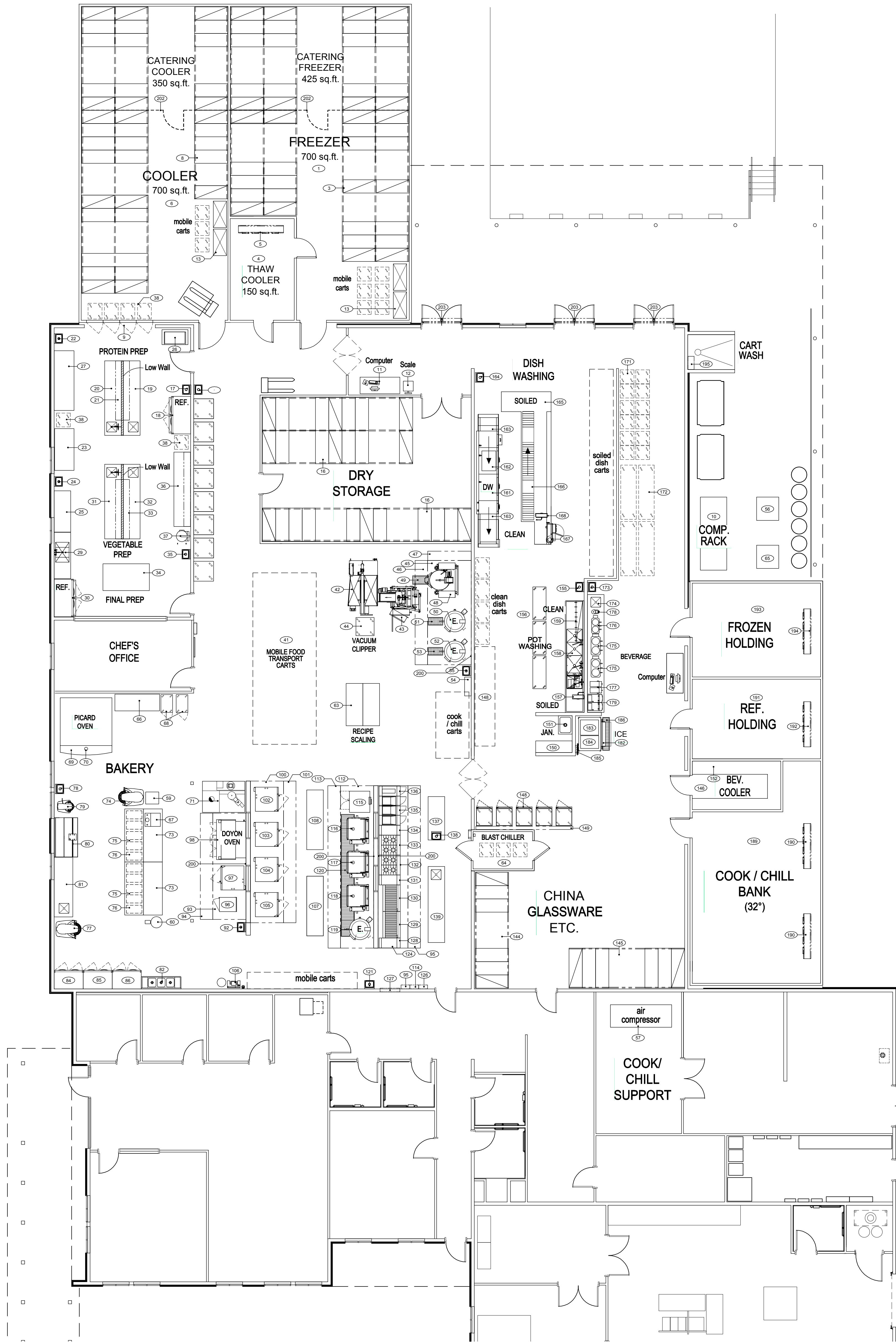
**B**  
**A2.2**  
 NORTH FACING SECTION AT CATERING OFFICES AND WOODSHOP  
 1/8"=1'-0"



**C**  
**A2.2**  
 WEST FACING SECTION AT WOODSHOP AND KITCHEN  
 1/8"=1'-0"



**D**  
**A2.2**  
 WEST FACING SECTION AT CATERING OFFICES AND KITCHEN  
 1/8"=1'-0"



Item No	Qty	Description	Furnished By
1	1	WALK-IN RECEIVING FREEZER	
2	lot	FREEZER COILS	
3	lot	HIGH DENSITY SHELVING	
4	1	THAW COOLER	
5	1	THAW COOLER COIL	
6	1	WALK-IN RECEIVING COOLER	
7	lot	RECEIVING COOLER COILS	
8	1	HIGH DENSITY SHELVING	
9	1	REACH-IN GLASS DOORS	
10	1	REFRIGERATION SYSTEM RACK	
11	1	RECEIVING DESK	
12	1	SCALES	
13	4	DUNNAGE RACKS	
14	-	SPARE NUMBER	
15	-	SPARE NUMBER	
16	lot	HIGH DENSITY SHELVING	
17	1	HAND SINK	
18	1	ROLL-IN REFRIGERATOR	
19	1	TABLE W/ SINK	
20	1	TABLE W/ SINK / PRE-RINSE	
21	1	SHELF	
22	1	HAND SINK	
23	1	ADJUSTABLE PREP TABLE	EXISTING
24	1	HAND SINK	
25	1	TABLE	
26	2	VACUUM MARINATOR	
27	1	MEAT / CHEESE SLICER	
28	-	SPARE NUMBER	
29	1	VEGETABLE WASH SINK / PRE-RINSE	
30	1	ROLL-IN REFRIGERATOR	
31	1	TABLE W/ SINK / PRE-RINSE	
32	1	TABLE W/ SINK	
33	1	SHELF	
34	1	TABLE	
35	1	HAND SINK	
36	1	TABLE W/ WALL SHELF	
37	1	VERTICAL CUTTER / MIXER	
38	4	ROLL-IN RACKS	
39	-	SPARE NUMBER	
40	-	SPARE NUMBER	
41	lot	MOBILE FOOD TRANSPORT CARTS	EXISTING
42	1	COOK / CHILL TANK	
43	1	PUMP / FILL STATION	
44	1	VACUUM CLIPPER	
45	1	EXHAUST HOOD	
46	1	MAKE-UP AIR PLENUM	
47	1	FIRE PROTECTION SYSTEM	
48	1	TILTING KETTLE W/ INLINE AGITATOR (100 gal.)	
49	1	TRENCH DRAIN	
50	1	STATIONARY KETTLE (80 gal.)	EXISTING
51	1	TRENCH DRAIN	
52	1	STATIONARY KETTLE (80 gal.)	EXISTING
53	1	TRENCH DRAIN	
54	1	CONTROL PANEL	
55	1	HAND SINK	
56	1	CONDENSING UNIT	
57	1	AIR COMPRESSOR	EXISTING
58	-	SPARE NUMBER	
59	1	UNFILLER (COMPACT) (COMPRESSED AIR)	
60	1	UNFILLER	
61	-	SPARE NUMBER	
62	-	SPARE NUMBER	
63	2	TABLE	
64	1	BLAST CHILLER	
65	1	REFRIGERATION SYSTEM ( part of Item 10)	
66	1	TABLE	
67	1	DOUGH BALLER	EXISTING
68	lot	MOBILE PROOFERS	EXISTING
69	1	REVOLVING OVEN	
70	1	OVEN DUCT	MECHANICAL
71	1	ROTATING RACK OVEN	
72	1	OVEN DUCT	MECHANICAL
73	2	TABLE	
74	1	MIXER (60 qt.)	EXISTING
75	2	BAKERS TABLE	EXISTING
76	lot	INGREDIENT BINS	EXISTING
77	1	MIXER (70 qt.)	EXISTING
78	1	HAND SINK	
79	1	MIXER (30 qt.)	EXISTING
80	1	PRE-MIXING TABLE	
81	1	TABLE W/ SINK	
82	1	3-COMPARTMENT SINK	
83	-	SPARE NUMBER	
84	1	REACH-IN FREEZER	
85	1	REACH-IN REFRIGERATOR	
86	1	REACH-IN REFRIGERATOR	
87	-	SPARE NUMBER	
88	-	SPARE NUMBER	
89	-	SPARE NUMBER	
90	-	SPARE NUMBER	
91	-	SPARE NUMBER	
92	1	HAND SINK	
93	1	EXHAUST HOOD	
94	1	MAKE-UP AIR PLENUM	
95	1	FIRE PROTECTION SYSTEM	
96	1	SMOKER	
97	1	COMBI OVEN / STEAMER	
98	1	BAKE OVEN	
99	-	SPARE NUMBER	
100	1	EXHAUST HOOD	
101	1	MAKE-UP AIR PLENUM	
102	1	COMBI OVEN / STEAMER	
103	1	COMBI OVEN / STEAMER	

Item No	Qty	Description	Furnished By
104	1	COMBI OVEN / STEAMER	EXISTING
105	1	COMBI OVEN / STEAMER	EXISTING
106	1	WATER FILTER SYSTEM	
107	1	TABLE	
108	1	TABLE	
109	-	SPARE NUMBER	
110	-	SPARE NUMBER	
111	-	SPARE NUMBER	
112	1	EXHAUST HOOD	
113	1	MAKE-UP AIR PLENUM	
114	1	FIRE PROTECTION SYSTEM	
115	1	CONVECTION OVEN	EXISTING
116	1	TILTING SKILLET (23 gal.)	EXISTING
117	1	TILTING SKILLET (30 gal.)	EXISTING
118	1	TILTING SKILLET (40 gal.)	
119	1	STATIONARY KETTLE (80 gal.)	EXISTING
120	1	TRENCH DRAIN	
121	1	HAND SINK	
122	-	SPARE NUMBER	
123	-	SPARE NUMBER	
124	1	EXHAUST HOOD	
125	1	MAKE-UP AIR PLENUM	
126	1	FIRE PROTECTION SYSTEM	
127	1	HOOD CONTROL PANEL	
128	1	SPREADER	
129	1	CHAR-BROILER	
130	1	CHAR-BROILER	
131	1	SPREADER	
132	1	4-BURNER RANGE	
133	1	4-BURNER RANGE	
134	1	SPREADER	
135	1	FRYER SYSTEM (3 FRYERS)	
136	1	DUMP STATION	
137	1	TABLE	
138	1	HAND SINK	
139	1	TABLE W/ SINK	
140	-	SPARE NUMBER	
141	-	SPARE NUMBER	
142	-	SPARE NUMBER	
143	-	SPARE NUMBER	
144	-	SPARE NUMBER	
145	-	SPARE NUMBER	
146	1	BEVERAGE COOLER	
147	1	COOLER COIL	
148	lot	HEATED HOLDING CARTS	EXISTING
149	1	ELECTRICAL RACEWAY	
150	lot	STORAGE SHELVING	
151	1	MOP SINK	
152	lot	COOLER SHELVING	
153	-	SPARE NUMBER	
154	-	SPARE NUMBER	
155	1	HAND SINK	
156	lot	POT / PAN SHELVING	
157	1	HOSE REEL	
158	1	POT WASH SINK ASSEMBLY	
159	1	UTENSIL RACK	
160	-	SPARE NUMBER	
161	1	DISHWASHER	
162	1	BOOSTER HEATER	
163	2	VENT DUCTS	
164	1	HAND SINK	
165	1	SOILED DISH TABLE	
166	1	CONVEYOR	
167	1	TROUGH VEYOR	
168	1	HOSE REEL	
169	-	SPARE NUMBER	
170	-	SPARE NUMBER	
171	lot	MOBILE CARTS	EXISTING
172	1	TABLES	EXISTING
173	1	HAND SINK	
174	1	BEVERAGE COUNTER W/SINK	
175	2	COFFEE URN (10 gal.)	
176	1	COFFEE URN (3 gal.)	
177	2	TEA BREWER (3 gal.)	
178	1	COFFEE GRINDER	
179	2	JUICE DISPENSER	PURVEYOR
180	1	WATER FILTER SYSTEM	
181	-	SPARE NUMBER	
182	1	ICE BIN	
183	1	ICE CUBER	
184	1	ICE CUBER	
185	1	WATER FILTER	
186	1	TRENCH DRAIN	
187	-	SPARE NUMBER	
188	-	SPARE NUMBER	
189	1	COOK / CHILL BANK ( 32 degree)	
190	2	COOLER COILS	
191	1	REFRIGERATED HOLDING COOLER	
192	1	COOLER COIL	
193	1	HOLDING FREEZER	
194	1	FREEZER COIL	
195	1	PRESSURE WASHER	
196	1	TEMPERATURE MONITORING SYSTEM	
197	2	FLOOR WASHERS	
198	-	SPARE NUMBER	
199	-	SPARE NUMBER	
200	lot	WALL FLASHING	
201	lot	CORNER GUARDS	
202	2	SECURITY FENCE	
203	3	AIR CURTAINS	
204	-	SPARE NUMBER	
205	-	SPARE NUMBER	

**GENERAL NOTES**

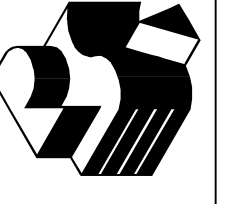
ALL ITEMS LISTED ON THE EQUIPMENT SCHEDULE ARE FURNISHED AND SET IN PLACE BY THE KITCHEN EQUIPMENT CONTRACTOR AS A SUB TO THE GENERAL CONTRACTOR UNLESS OTHERWISE NOTED AS FURNISHED BY:

OWNER - OWNER FURNISHED, INSTALLED BY G.C.  
 EXISTING - OWNER FURNISHED  
 MECHANICAL - MECH. FURNISHED, INSTALLED BY MECH.  
 PURVEYOR - PURVEYOR FURNISHED

**LEGEND**

R.P.S. - REMOTE PULL STATION ( FIRE PROTECTION SYSTEM)

SCHEMATIC DESIGN  
Not For Construction



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**UO Housing Central Kitchen & Woodshop**

Drawn By: \_\_\_\_\_  
 Checked: \_\_\_\_\_  
 Date: JUNE 17 2014  
 Project: 1407

**FS-OA**